



# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

## REVISED ROUTING

DATE: July 25, 2024

TO: Department of Public Works and Planning, Attn: Steven E. White, Director  
Department of Public Works and Planning, Attn: Bernard Jimenez,  
Planning and Resource Management Officer  
Development Services and Capital Projects, Attn: William M. Kettler,  
Deputy Director of Planning  
Development Services and Capital Projects, Attn: Chris Motta, Manager  
Development Services and Capital Projects, Attn: Tawanda Mtunga  
Principal Planner  
Development Services and Capital Projects, Current Planning, Attn: David Randall,  
Senior Planner  
Development Services and Capital Projects, Policy Planning, ALCC, Attn:  
Mohammad Khorsand, Senior Planner  
Development Services and Capital Projects, Zoning & Permit Review, Attn:  
Daniel Gutierrez, Senior Planner  
Development Services and Capital Projects, Site Plan Review, Attn:  
James Anders, Principal Planner  
Development Services and Capital Projects, Building & Safety/Plan Check, Attn:  
Arnold Valdivia, Supervising Building Inspector  
Development Engineering, Attn: Laurie Kennedy, Grading/Mapping  
Road Maintenance and Operations, Attn: Wendy Nakagawa  
Design Division, Transportation Planning Unit, Attn: Hector Luna  
Water and Natural Resources Division, Attn: Augustine Ramirez/Roy Jimenez  
Fresno Metropolitan Flood Control District; Attn:  
[developmentreview@fresnofloodcontrol.org](mailto:developmentreview@fresnofloodcontrol.org)  
Agricultural Commissioner, Attn: Melissa Cregan  
City of Fresno, Planning Manager, Attn: Israel Trejo  
City of Fresno, Public Works Department, Attn: Scot Mozier, Andreina Aguilar  
City of Fresno, Public Utilities Department, Attn: Brock Buche  
City of Fresno, Traffic Engineering, Attn: Jill Gormley/Harmanjit Dhaliwal  
Malaga County Water District (Provost & Pritchard), Attn: Michael Taylor  
Malaga County Water District (Office Manager), Attn: Norma Melendez  
North King GSA, Attn: Kassy D. Chauhan  
Fresno Irrigation District, Attn: [Engr-Review@fresnoirrigation.com](mailto:Engr-Review@fresnoirrigation.com)  
Department of Public Health, Environmental Health Division, Attn:  
Deep Sidhu/Kevin Tsuda  
U.S. Fish and Wildlife Service, San Joaquin Valley Division, Attn: Justin Salon  
CA Regional Water Quality Control Board, Attn:  
[centralvalleyfresno@waterboards.ca.gov](mailto:centralvalleyfresno@waterboards.ca.gov)  
CA Department of Fish and Wildlife, Attn: [R4CEQA@wildlife.ca.gov](mailto:R4CEQA@wildlife.ca.gov)  
State Water Resources Control Board, Division of Drinking Water, Fresno District,  
Attn: Cinthia Reyes  
Dumna Wo Wah Tribal Government, Attn: Robert Ledger, Tribal Chairman/Eric  
Smith, Cultural Resources Manager/Chris Acree, Cultural Resources Analyst  
Picayune Rancheria of the Chukchansi Indians, Attn: Heather Airey/Cultural

Resources Director  
Santa Rosa Rancheria Tachi Yokut Tribe, Attn: Ruben Barrios, Tribal Chairman/  
Hector Franco, Director/Shana Powers, Cultural Specialist II  
Table Mountain Rancheria, Attn: Robert Pennell, Cultural Resources Director/Kim  
Taylor, Cultural Resources Department/Sara Barnett, Cultural Resources  
Department  
San Joaquin Valley Unified Air Pollution Control District (PIC-CEQA Division),  
Attn: PIC Supervisor  
Fresno County Fire Protection District, Attn: fku.prevention-planning@fire.ca.gov

FROM: Ejaz Ahmad, Planner  
Development Services and Capital Projects Division

SUBJECT: Initial Study Application No. 7870, Amendment Application No. 3842; Classified  
Conditional Use Permit Application No. 3682

APPLICANT: Angelo & Beatrice Paolucci

DUE DATE: August 8, 2024

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject applications proposing to allow rezone a 3.46-acre, .05-acre, and a 19.65-acre parcel identified by APN: 316-071-36, 38 & 75 respectively totaling 23.6 acres from the existing AL-20 Zone District to the M-3 (c) (Heavy Industrial, Conditional) Zone District and allow the expansion of an existing inorganic fertilizer manufacturing facility on a 4.12-acre parcel identified by APN 316-071-37 onto the subject 3.46-acre parcel and a 0.5-acre parcel. excluding 19.65-acre parcel. The subject parcels are located at the northwest corner of S. Peach Avenue and E. North Avenue approximately 2,704 feet southeast of the nearest city limits of the City of Fresno (2976 S. Peach Avenue).

***Note. The original routing for AA 3842 and CUP 3682 was sent to agencies for comments on June 17, 2020, and is attached hereto this Revised Routing for reference purposes. The project has been scaled down. It proposes to allow conditional M-3 Zoning with limited industrial uses verses all uses allowed in the M-3 Zone District and no development on 19.65-acre parcel.***

The Department is also reviewing for environmental effects, as mandated by the California Environmental Quality Act (CEQA) and for conformity with plans and policies of the County.

Based upon this review, a determination will be made regarding conditions to be imposed on the project, including necessary on-site and off-site improvements.

We must have your comments by **August 8, 2024**. Any comments received after this date may not be used.

**NOTE - THIS WILL BE OUR ONLY REQUEST FOR WRITTEN COMMENTS. If you do not have comments, please provide a "NO COMMENT" response to our office by the above deadline (e-mail is also acceptable; see email address below).**

Please address any correspondence or questions related to environmental and/or policy/design issues to me, Ejaz Ahmad, Planner, Development Services and Capital Projects Division, Fresno

County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or call (559) 600-4204, or email [eahmad@fresnocountyca.gov](mailto:eahmad@fresnocountyca.gov)

EA  
G:\4360Devs&Pln\PROJSEC\PROJDOCS\CUP\3800-3899\3842-SEE CUP 3682\AA3842 (Revision)\Routing\AA 3842 Routing Ltr (revised).doc

Enclosures



# Fresno County Department of Public Works and Planning

Date Received: 7/24/24

Amendment to  
AA 3842 / CUP 3682  
(Application No.)

**MAILING ADDRESS:**  
Department of Public Works and Planning  
Development Services Division  
2220 Tulare St., 6<sup>th</sup> Floor  
Fresno, Ca. 93721

**LOCATION:**  
Southwest corner of Tulare & "M" Streets, Suite A  
Street Level  
Fresno Phone: (559) 600-4497  
Toll Free: 1-800-742-1011 Ext. 0-4497

**APPLICATION FOR:**

- Pre-Application (Type) \_\_\_\_\_
- Amendment Application  Director Review and Approval
- Amendment to Text  for 2<sup>nd</sup> Residence
- Conditional Use Permit  Determination of Merger
- Variance (Class )/Minor Variance  Agreements
- Site Plan Review/Occupancy Permit  ALCC/RLCC
- No Shoot/Dog Leash Law Boundary  Other Revised submittal
- General Plan Amendment/Specific Plan/SP Amendment
- Time Extension for \_\_\_\_\_

**DESCRIPTION OF PROPOSED USE OR REQUEST:**

A rezoning from AL-20 Limited Agriculture to conditional M-3, Heavy Industrial (Please see Attachment "A") on APN 316-071-36, -38 & -75 for a total of 23.60 +/- acres.

A Conditional Use Permit (CUP) 3682 to allow an inorganic fertilizer facility and one caretaker residence on 8.07 +/- acres (APN 316-071-36, -37 & -38) in the M-3 conditional zone. Note that the CUP does not include APN 316-071-75.

The applicant proposes to construct the expansion in three phases.

**CEQA DOCUMENTATION:**  Initial Study  PER  N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. **Attach Copy of Deed, including Legal Description.**

**LOCATION OF PROPERTY:** West \_\_\_\_\_ side of S. Peach Ave.  
between E. North Ave. \_\_\_\_\_ and E. Annadale Ave. \_\_\_\_\_  
Street address: 2948 S. Peach Ave.

APN: 316-071-75 Parcel size: Total 20.63 Section(s)-Twp/Rg: S 19 - T 14 S/R 21 E

ADDITIONAL APN(s): 316-071-36, -37 & 38

I, Dirk Poeschel (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

Angelo & Beatrice Paolucci	12716 E. Sierra Ave.	Fresno	93619	559-324-7830
Owner (Print or Type)	Address	City	Zip	Phone
Angelo & Beatrice Paolucci	12716 E. Sierra Ave.	Fresno	93619	559-324-7830
Applicant (Print or Type)	Address	City	Zip	Phone
Dirk Poeschel	923 Van Ness, Suite 200	Fresno	93721	559-445-0374
Representative (Print or Type)	Address	City	Zip	Phone

**CONTACT EMAIL:**

**OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)**

Application Type / No.: Amendment AA 3842 Fee: \$ 2,125.25  
 Application Type / No.: CUP 3682 Fee: \$ \_\_\_\_\_  
 Application Type / No.: \_\_\_\_\_ Fee: \$ \_\_\_\_\_  
 Application Type / No.: \_\_\_\_\_ Fee: \$ \_\_\_\_\_  
 PER/Initial Study No.: \_\_\_\_\_ Fee: \$ \_\_\_\_\_  
 Ag Department Review: \_\_\_\_\_ Fee: \$ \_\_\_\_\_  
 Health Department Review: \_\_\_\_\_ Fee: \$ \_\_\_\_\_  
 Received By: Eja Z Invoice No.: \_\_\_\_\_ TOTAL: \$ 2,125.25

**UTILITIES AVAILABLE:**

WATER: Yes  / No   
 Agency: \_\_\_\_\_  
 SEWER: Yes  / No   
 Agency: \_\_\_\_\_

**STAFF DETERMINATION:** This permit is sought under Ordinance Section:

Sect-Twp/Rg: \_\_\_\_\_ - T \_\_\_\_\_ S/R \_\_\_\_\_ E

Related Application(s): AA 3842 / CUP 3682

APN # \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

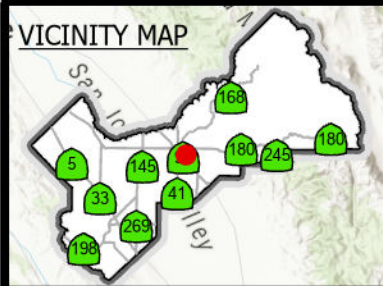
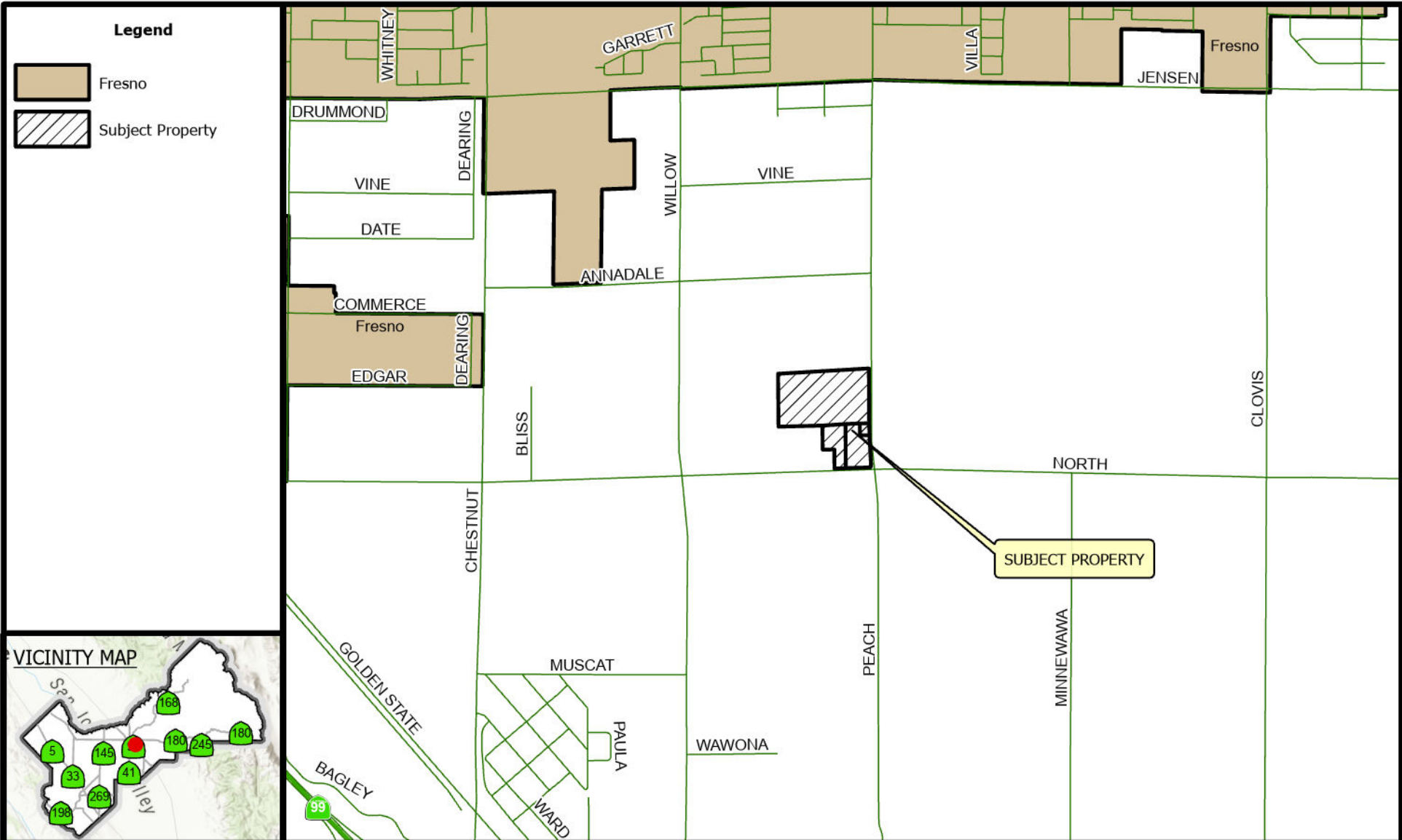
Zone District: \_\_\_\_\_

APN # \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

Parcel Size: \_\_\_\_\_

APN # \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

APN # \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

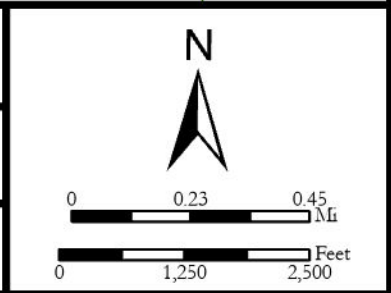


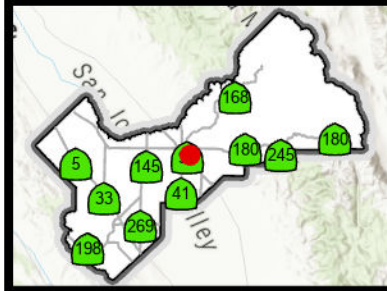
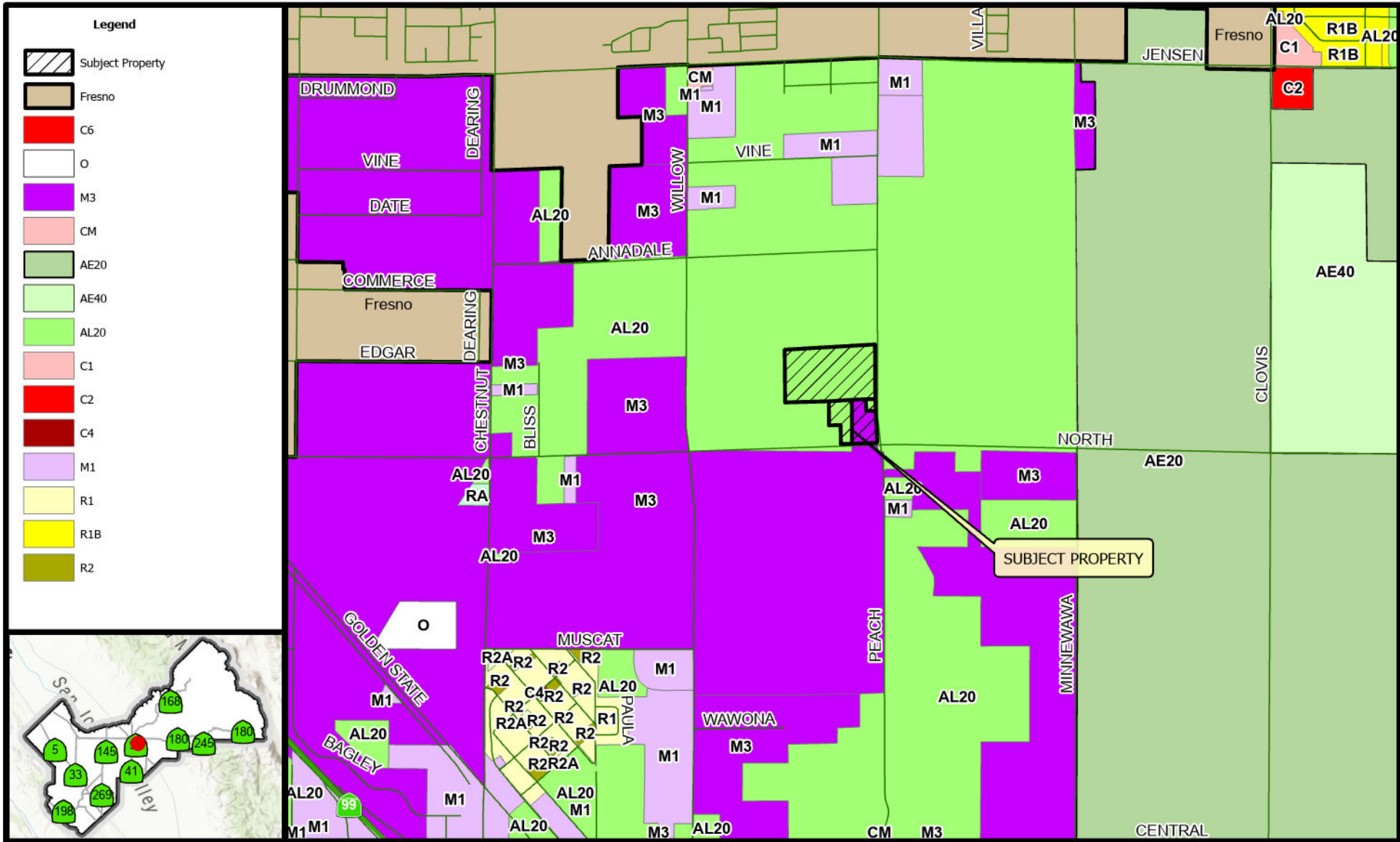
# LOCATION MAP

AA3842-CUP3682-IS7879

2024

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division  
 Person Prepared by : mvilla  
 On Date : 6/3/2024



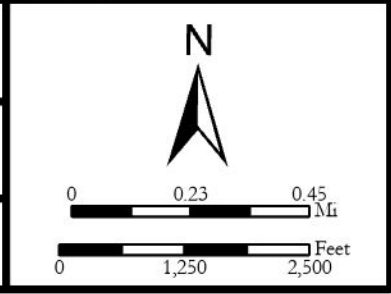


**Existing Zoning Map**

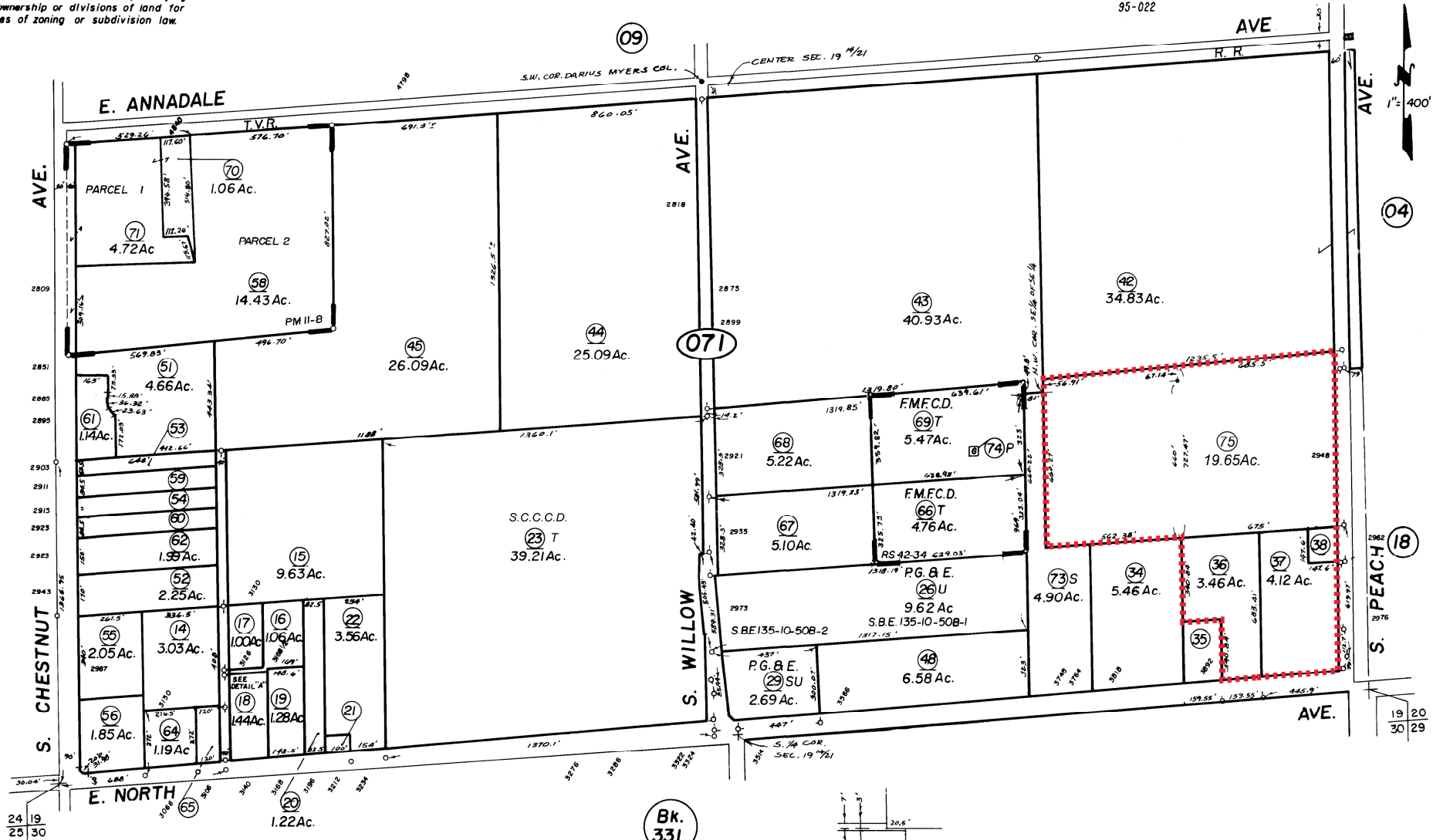
AA3842-CUP3682-IS7879  
 STR 19 - 14S / 210E

2024

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division  
 Person Prepared by : mvilla  
 On Date : 6/3/2024



--- NOTE ---  
This map is for Assessment purposes only.  
It is not to be construed as portraying  
legal ownership or divisions of land for  
purposes of zoning or subdivision law.



Agricultural Preserve  
Parcel Map No. 1710, Bk. II, Pg. 8  
Record of Survey - Bk. 42, Pg. 34

Assessor's Map Bk. 316 - Pg. 07  
County of Fresno, Calif.

NOTE - Assessor's Block Numbers Shown in Ellipses.  
Assessor's Parcel Numbers Shown in Circles.



# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

## INITIAL STUDY APPLICATION

### INSTRUCTIONS

Answer all questions completely. An incomplete form may delay processing of your application. Use additional paper if necessary and attach any supplemental information to this form. Attach an operational statement if appropriate. This application will be distributed to several agencies and persons to determine the potential environmental effects of your proposal. Please complete the form in a legible and reproducible manner (i.e., USE BLACK INK OR TYPE).

OFFICE USE ONLY

IS No. \_\_\_\_\_

Project  
No(s). AA 3842; CUP 3682

Application Rec'd.:  
\_\_\_\_\_

### GENERAL INFORMATION

1. **Property Owner :** Angelo Paolucci & Rosanna DiLallo **Phone/Fax:** (559) 498-0388  
**Mailing Address:** 1865 Herndon Ave., Suite #K321 Clovis CA, 93611  
**Street City State/Zip**
2. **Applicant:** Angelo Paolucci & Rosanna DiLallo **Phone/Fax:** (559) 498-0388  
**Mailing Address:** 1865 Herndon Ave., Suite #K321 Clovis CA, 93611  
**Street City State/Zip**
3. **Representative:** Dirk Poeschel **Phone/Fax:** 559-445-0374  
**Mailing Address:** 923 Van Ness, Suite 200 Fresno CA 93721  
**Street City State/Zip**
4. **Proposed Project:** Expansion of Inorganic Fertilizer Manufacturing Storage and Sales Facility
5. **Project Location:** West side of Peach Ave. between E. North Ave. and E. Annadale Ave.
6. **Project Address:** 2948 S. Peach Ave.
7. **Section/Township/Range:** 19 / 14 / 21 8. **Parcel Size:** 23.60 acres (total)
9. **Assessor's Parcel No.** 316-071-36, -37, -38 & -75 **OVER.....**



10. Land Conservation Contract No. (If applicable): N/A

11. What other agencies will you need to get permits or authorization from:

<input type="checkbox"/> LAFCo (annexation or extension of services)	<input checked="" type="checkbox"/>	SJVUAPCD (Air Pollution Control District)
<input type="checkbox"/> CALTRANS	<input type="checkbox"/>	Reclamation Board
<input type="checkbox"/> Division of Aeronautics	<input type="checkbox"/>	Department of Energy
<input checked="" type="checkbox"/> Water Quality Control Board	<input type="checkbox"/>	Airport Land Use Commission
<input type="checkbox"/> Other _____		

12. Will the project utilize Federal funds or require other Federal authorization subject to the provisions of the National Environmental Policy Act (NEPA) of 1969?  Yes  No

If so, please provide a copy of all related grant and/or funding documents, related information and environmental review requirements.

13. Existing Zone District<sup>1</sup>: M-3, AL-20

14. Existing General Plan Land Use Designation<sup>1</sup>: Reserve (Limited Ind.) & Limited Ind.

**ENVIRONMENTAL INFORMATION**

15. Present land use: Existing fertilizer warehouse & manufacturing, vacant agricultural land, two residential structures.

Describe existing physical improvements including buildings, water (wells) and sewage facilities, roads, and lighting. Include a site plan or map showing these improvements:

See attached Site Plan

Describe the major vegetative cover: \_\_\_\_\_

Any perennial or intermittent water courses? If so, show on map: No

Is property in a flood-prone area? Describe: No

16. Describe surrounding land uses (e.g., commercial, agricultural, residential, school, etc.):

North: Agriculture

South: Industrial

East: Rural Residential, Convelescent Hospital

West: Agriculture, Rural Residential

17. What land use(s) in the area may be impacted by your Project?: N/A

18. What land use(s) in the area may impact your project? N/A

19. Transportation:

**NOTE:** The information below will be used in determining traffic impacts from this project. The data may also show the need for a Traffic Impact Study (TIS) for the project.

A. Will additional driveways from the proposed project site be necessary to access public roads?  
 X  Yes   No

B. Daily traffic generation:

- I. Residential - Number of Units N/A  
Lot Size 23.60 acres (total)  
Single Family N/A  
Apartments N/A
- II. Commercial - Number of Employees 15-20  
Number of Salesmen No onsite sales  
Number of Delivery Trucks 1 per day off-season/six per day peak season  
Total Square Footage of Building 56,950 sq. ft. (see Operational Statement)
- III. Describe and quantify other traffic generation activities: 15 – 20 employees per day  
Office hours Monday to Friday, 8 a.m. to 5 p.m.; 7 a.m. to 5 p.m. peak season. No on-  
site sales.

20. Describe any source(s) of noise from your project that may affect the surrounding area: All  
manufacturing activities occur indoors. Exterior noise includes forklifts, employee vehicles and trucks  
delivering raw materials or picking up finished product.

21. Describe any source(s) of noise in the area that may affect your project: N/A

22. Describe the probable source(s) of air pollution from your project: The manufacturing process occurs in  
an enclosed building equipped with a baghouse and filtration system. The project is permitted by the San  
Joaquin Valley Air Pollution Control District (Facility #C-8901).

23. Proposed source of water:

( X ) private well

( ) community system<sup>3</sup>--name: Fire line connected to Malaga Water District OVER.....

24. Anticipated volume of water to be used (gallons per day)<sup>2</sup>: 800 gallons
25. Proposed method of liquid waste disposal:  
 septic system/individual  
 community system<sup>3</sup>-name Public sewer, City of Fresno
26. Estimated volume of liquid waste (gallons per day)<sup>2</sup>: approximately 10 gallons per day from restrooms
27. Anticipated type(s) of liquid waste: Bathroom and kitchen water
28. Anticipated type(s) of hazardous wastes<sup>2</sup>: Material with pH <2 and corrosive material
29. Anticipated volume of hazardous wastes<sup>2</sup>: Less than 20 lbs per month
30. Proposed method of hazardous waste disposal<sup>2</sup>: Contract with authorized hazardous waste disposal companies
31. Anticipated type(s) of solid waste: Paper, plastic, glass, and compost
32. Anticipated amount of solid waste (tons or cubic yards per day): 0.12 cubic yards per day
33. Anticipated amount of waste that will be recycled (tons or cubic yards per day): 0.3 cubic yards per day
34. Proposed method of solid waste disposal: Industrial waste and salvage
35. Fire protection district(s) serving this area: Cal Fire
36. Has a previous application been processed on this site? Yes If so, list title and date: Initial Study Application No. 7879; Amendment Application No. 3842; Classified Conditional Use Permit Application No. 3682, June 17, 2020
37. Do you have any underground storage tanks (except septic tanks)? Yes \_\_\_\_\_ No X
38. If yes, are they currently in use? Yes \_\_\_\_\_ No \_\_\_\_\_

TO THE BEST OF MY KNOWLEDGE, THE FOREGOING INFORMATION IS TRUE.

Angelo Paolucci  
 SIGNATURE

3/28/2024  
 DATE

<sup>1</sup>Refer to Development Services and Capital Projects Conference Checklist

<sup>2</sup>For assistance, contact Environmental Health System, (559) 600-3357

<sup>3</sup>For County Service Areas or Waterworks Districts, contact the Resources Division, (559) 600-4259

# **NOTICE AND ACKNOWLEDGMENT**

## **INDEMNIFICATION AND DEFENSE**

*The Board of Supervisors has adopted a policy that applicants should be made aware that they may be responsible for participating in the defense of the County in the event a lawsuit is filed resulting from the County's action on your project. You may be required to enter into an agreement to indemnify and defend the County if it appears likely that litigation could result from the County's action. The agreement would require that you deposit an appropriate security upon notice that a lawsuit has been filed. In the event that you fail to comply with the provisions of the agreement, the County may rescind its approval of the project.*

## **STATE FISH AND WILDLIFE FEE**

*State law requires that specified fees (effective January 1, 2021: \$3,445.25 for an EIR; \$2,480.25 for a Mitigated/Negative Declaration) be paid to the California Department of Fish and Wildlife (CDFW) for projects which must be reviewed for potential adverse effect on wildlife resources. The County is required to collect the fees on behalf of CDFW. A \$50.00 handling fee will also be charged, as provided for in the legislation, to defray a portion of the County's costs for collecting the fees.*

*The following projects are exempt from the fees:*

- 1. All projects statutorily exempt from the provisions of CEQA (California Environmental Quality Act).*
- 2. All projects categorically exempt by regulations of the Secretary of Resources (State of California) from the requirement to prepare environmental documents.*

*A fee exemption may be issued by CDFW for eligible projects determined by that agency to have "no effect on wildlife." That determination must be provided in advance from CDFW to the County at the request of the applicant. You may wish to call the local office of CDFW at (559) 222-3761 if you need more information.*

*Upon completion of the Initial Study you will be notified of the applicable fee. Payment of the fee will be required before your project will be forwarded to the project analyst for scheduling of any required hearings and final processing. The fee will be refunded if the project should be denied by the County.*

*Angelo Paolucci*

*Applicant's Signature*

3/28/2024

*Date*

**TABLE 2-8  
ALLOWABLE USES AND PERMIT REQUIREMENTS  
FOR INDUSTRIAL ZONES (Continued)**

Land Use <sup>1</sup>	Permit Requirement by Zone <sup>2</sup>				
	C-M	M-1	M-2	M-3	See Section
<b>Manufacturing and Assembly</b>					
<del>Blacksmith</del>			P		
<del>Boat Building and Repairing</del>	P	P	P	P	834.4.450
<del>Electrical Equipment Manufacturing</del>	P	P	P	P	834.4.450
Jewelry Manufacturing	P	P	P	P	834.4.450
Leather Products Manufacturing		P	P	P	834.4.450
<del>Motor Vehicle Manufacturing</del>		C	C	C	834.4.450
<del>Paint Manufacturing</del>			C	D	834.4.450
Textile Products Manufacturing	P	P	P	P	834.4.450
<del>Tire Recapping, Retreading, and Rebuilding</del>	P	P	P	P	834.4.450
<del>Transportation Product Assembly</del>		C	C	C	
<del>Warehousing and Wholesaling (up to 10,000 square feet in gross floor area)</del>	P	P	P	P	834.4.450
<del>Warehousing and Wholesaling (greater than 10,001 square feet in gross floor area)</del>	D	D	D	D	834.4.450
<del>Welding</del>	P	P	P	P	

**Key to Permit Requirements**

Symbol	Applicable Process	See Chapter
P	Permitted use	
C	Conditional Use Permit required	842.5
D	Director's Review and Approval required	846.5
TUP	Temporary Use Permit required	858.5
<i>Blank</i>	Use not allowed	

**Notes:**

- 1 See Article 7 for definitions of the land uses listed.
- 2 For any land use listed as permitted (P), a Director approved Site Plan Review Permit shall be required for all construction activities (e.g., additions, alterations, construction, reconstruction, or remodeling) in compliance with Chapter 854.5 (Site Plan Review).

**TABLE 2-8  
ALLOWABLE USES AND PERMIT REQUIREMENTS  
FOR INDUSTRIAL ZONES (Continued)**

Land Use <sup>1</sup>	Permit Requirement by Zone <sup>2</sup>				
	C-M	M-1	M-2	M-3	See Section
<b>Manufacturing and Processing</b>					
<del>Beverage Production</del>	P	P	P	P	834.4.450
<del>Canning and Kindred Food Products Manufacturing</del>				C	834.4.450
Chemical Products Manufacturing				C	834.4.450
<del>Clothing Products Manufacturing</del>		P	P	P	834.4.450
<del>Concrete and Cement Products Manufacturing</del>		C	D	D	834.4.450
<del>Concrete, Gypsum, and Plaster Product Manufacturing</del>				C	834.4.450
<del>Cosmetic Products Manufacturing</del>	P	P	P	P	834.4.450
Dairy Products Manufacturing	D	P	P	P	834.4.450
<del>Electronic Motor Rebuilding</del>	D	P	P		
<del>Explosives, Fireworks, and Ordinance Manufacturing</del>				C	834.4.450
<del>Fabric Product Manufacturing</del>	P	P	P	D	834.4.450
<del>Food and Beverage Manufacturing</del>	P	P	P	D	834.4.450
<del>Furniture/Fixture/Cabinet Shops</del>	P	P	P	P	
<del>Glass Products Manufacturing</del>		P	P	D	834.4.450
<del>Grain Elevators</del>		P	P	P	

**Key to Permit Requirements**

Symbol	Applicable Process	See Chapter
P	Permitted use	
C	Conditional Use Permit required	842.5
D	Director's Review and Approval required	846.5
TUP	Temporary Use Permit required	858.5
Blank	Use not allowed	

**Notes:**

- 1 See Article 7 for definitions of the land uses listed.
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**TABLE 2-8  
ALLOWABLE USES AND PERMIT REQUIREMENTS  
FOR INDUSTRIAL ZONES (Continued)**

Land Use <sup>1</sup>	Permit Requirement by Zone <sup>2</sup>				
	C-M	M-1	M-2	M-3	See Section
<b>Manufacturing and Processing (Continued)</b>					
Handcraft Industries, Small – Scale Manufacturing.		P	P	P	
Laboratories	P	P	P	P	
<del>Laundries and Dry Cleaning Plants</del>	P	P	P	P	
<del>Lumber and Wood Products</del>	P	P	P	P	834.4.450
<del>Lumber and Wood Products, Including Planing Mill</del>		P	P	P	834.4.450
<del>Machinery Manufacturing, General (No Punch Presses and/or Drop Hammers greater than 20 tons)</del>	D	P	P	P	834.4.450
<del>Machinery Manufacturing, Heavy (With Punch Presses and/or Drop Hammers greater than 20 tons)</del>		C	C	C	834.4.450
<del>Medical marijuana cultivation facilities</del>		P	P	P	Chapter 6.60
<del>Metal Industries</del>			C	D	
<del>Meat packing and processing (NO On-Site Animal Slaughtering)</del>	C	D	P	P	834.4.450
<del>Meat processing, commercial (With On-Site Animal Slaughtering)</del>				C	834.4.450
Monument and Tombstone Works		P	P	P	
<del>Paper Products Manufacturing</del>		P	P	P	834.4.450

**Key to Permit Requirements**

Symbol	Applicable Process	See Chapter
P	Permitted use	
C	Conditional Use Permit required	842.5
D	Director’s Review and Approval required	846.5
TUP	Temporary Use Permit required	858.5
Blank	Use not allowed	

**Notes:**

1 See Article 7 for definitions of the land uses listed.

**TABLE 2-8  
ALLOWABLE USES AND PERMIT REQUIREMENTS  
FOR INDUSTRIAL ZONES (Continued)**

Land Use <sup>1</sup>	Permit Requirement by Zone <sup>2</sup>				
	C-M	M-1	M-2	M-3	See Section
<b>Services</b>					
Advertising Structures	P	P	P	P	
<del>Animal Hospitals/Veterinary Clinics</del>	C	P	P	P	
<del>Auction Houses</del>	P	C			
<del>Automated Teller Machines (ATM's), Drive Up</del>	P	P	P	P	
<del>Automated Teller Machines (ATM's), Walk-Up</del>	P	P	P	P	
<del>Banks and Financial Services</del>	P	P	P	P	
<del>Bars and Alcoholic Beverage Drinking Places</del>	D	D	D	D	834.4.080
<del>Business Support Services</del>	P				
<del>Carpet and Rug Cleaning Plants</del>	P				834.4.450
<del>Cleaning and Dyeing Shops</del>	P				
<del>Copy Services</del>	P				
<del>Delicatessens</del>	P	P	P	P	
<del>Equipment Rental/Sales</del>	P	P	P		
<del>Farm Equipment Services</del>	P				
<del>Kennels</del>	C	P	P	P	
<del>Laboratories</del>	P	P	P		

**Key to Permit Requirements**

Symbol	Applicable Process	See Chapter
P	Permitted use	
C	Conditional Use Permit required	842.5
D	Director's Review and Approval required	846.5
TUP	Temporary Use Permit required	858.5
<i>Blank</i>	Use not allowed	

**Notes:**

- 1 See Article 7 for definitions of the land uses listed.
- 2 For any land use listed as permitted (P), a Director approved Site Plan Review Permit shall be required for all construction activities (e.g., additions, alterations, construction, reconstruction, or remodeling) in compliance with Chapter 854.5 (Site Plan Review).



**Amendment Application No. 3842 &  
Conditional Use Permit No 3682  
AgroPlantae, Inc.  
Operational Statement  
July 23, 2024**

**Applicant:**

Angelo Paolucci, CEO  
Rosanna DiLallo, CFO

1865 Herndon Ave.  
Suite K321  
Clovis CA 93611  
(559) 498-0388

**Representative**

Dirk Poeschel  
Dirk Poeschel Land Development Services, Inc.  
923 Van Ness, Suite 200  
Fresno, CA 93721  
(559) 445-0374

**Project Address:** 2976 S. Peach Ave., Fresno, CA 93725

**APN/Acreage:** 316-071-36 – 3.46 +/- acres  
316-071-37 – 4.12 +/- acres  
316-071-38 – 0.49 +/- acres  
316-071-75 – 19.65 +/- acres

**Existing Land Use:** Fertilizer manufacturing, warehousing and distribution.

**Proposed Land Use:** Expanded fertilizer manufacturing, warehousing and distribution.

**Existing General Plan:** Limited Industrial, Reserve & Limited Industrial

**Proposed General Plan:** No Change

**Existing Zoning:** AL-20 – 316-071-36  
M-3 – 316-071-37  
AL-20 – 316-071-38  
AL-20 – 316-071-75

**Proposed Zoning:** Conditional M-3 – 316-071-36  
Conditional M-3 – 316-071-37 (to remain)  
Conditional M-3 – 316-071-38  
Conditional M-3 – 316-071-75

**Community Plan Area:** Roosevelt Community Plan

**Request:**

The applicant requests the following land use approvals:

1. A rezoning from AL-20 Limited Agriculture to conditional M-3, Heavy Industrial (Please see Attachment “A”) on APN 316-071-36, -38 & -75 for a total of 23.60 +/- acres.
2. A Conditional Use Permit (CUP) 3682 to allow an inorganic fertilizer facility and one caretaker residence on 8.07 +/- acres (APN 316-071-36, -37 & -38) in the M-3 conditional zone. Note that the CUP does not include APN 316-071-75.

**Background Information:**

The existing fertilizer manufacturing facility is located on a 4.12 +/- acre parcel (APN 316-071-37) at the northwest corner of S. Peach and E. North Avenues. The 4.12 +/- acre parcel is designated as Limited Industrial, Reserve and Limited Industrial in the Fresno County General Plan and is zoned M-3, Heavy Industrial. In 2015, the county approved CUP No. 3406 to allow for the existing agricultural fertilizer manufacturing facility on APNs 316-071-36 & -37. The primary purpose of the project is to improve production efficiency at the facility and to meet current product demands with adequate capacity for growth.

The applicant proposes to construct the expansion in three phases (Please see Attachment “B” – Overall Site Plan).

Phase 1 includes the following:

1. A new 44,550 sq. ft. manufacturing/warehouse building for the storage of inorganic fertilizer products, raw materials and finished products on APN 316-071-36. Please see Attachment “C”, Proposed Site Plan and Attachment “D”, Manufacturing/Warehouse Building Plan.
2. A 4,900 sq. ft. quality control laboratory on APN 316-071-36 (Please see Attachment “E”, Lab Building Plan).
3. A 7,500 sq. ft. administrative offices on APN 316-071-36 (Please see Attachment “F”, Office Building Plan).

Phase 2 includes the following:

1. Demolition of Building “A” (Please see Attachment “G” Demolition Plan).
2. Construction of an 11,199 sq. ft. canopy on APN 316-071-37
3. Construction of a 10,535 sq. ft. future warehouse building on APN 316-071-36.

Phase 3 is anticipated to include:

1. Likely four buildings of 75,000 sq. ft. each not to exceed 300,000 sq. ft. of manufacturing/warehouse space on APN 316-071-75 (Please see Attachment “B”).

**Project Operations:**

Photographs of existing operations at the facility are included in Attachment “H”. Storage of materials, production processes and equipment are depicted in the photographs. The company will operate 5 days a week as described below with a peak production season from February to July.

The agitation tanks will be connected to a hot water heater to allow faster solution blending of certain dry soluble raw materials. Once the final solution is blended, the majority will be packaged 275-gallon totes or 6,000-gallon tanks. Some products will be packaged in 2.5-gallon jugs with two jugs placed in a box, stacked on pallets of 36 boxes (180 gallons) and shrink wrapped for shipping. If sold in bulk, products would be pumped into a 4,000-gallon tank truck.

For the powder products, raw materials in 55 lb. sacks or large sacks of 2,000 lbs. are weighed and loaded into the blender then packed in 25 lb. bags. The majority of these products will be packaged in 25 lb. bags stacked on pallets of 80 bags (2,000 lbs.) and shrink wrapped for shipping.

Finished goods are stored in dedicated areas inside a building and when staged for shipping will be loaded with forklifts into trucks. The new building will increase the warehouse storage capacity avoiding the need to store raw materials and finished goods outside.

**1. Operational Time Limits**

Standard hours of operation are summarized in the table below. Office hours will be from Monday to Friday, 8 a.m. to 5 p.m., 8 hours per day with 1 hour for lunch. During peak season, production hours will be up to 10 hours per day from 7 a.m. to 5 p.m. On some occasions, estimated to be 3 or 4 times per year, the facility may operate 6 or 7 days a week to meet consumer demand. All manufacturing activities will be conducted indoors.

**Standard Hours of Operation**

<b>Activity</b>		<b>Current</b>	<b>Proposed</b>
Office		8 a.m. to 5 p.m.	No change
Material Receiving		7 a.m. to 4 p.m.	No change
Material Shipping		7 a.m. to 4 p.m.	No change
Production		10 hrs/day	No change

**2. Number of Visitors**

Products are sold to distributors. Project customers are medium and large retail distributors who are usually contacted through sales calls. Customers include Simplot, Gar Bennet and Nutrien. Buyer visits to the plant typically average one visit per bimonthly. Shipments and deliveries will occur from 7 a.m. to 5 p.m. averaging approximately one per day in the off-season and a maximum of six per day in the peak season February through July. No on-site sales occur at the facility substantially limiting the number of trucks visiting the facility.

**3. Employees**

Facility operations require 15 to 20 employees working a single shift from 7 a.m. to 4 p.m. As identified on the project site plan, the existing 1,500 sq. ft. residence on APN 316-071-36 will be demolished per county standards. The existing 2,300 sq. ft. residence on APN 316-071-37 will continue to be used for administrative functions and as a caretaker residence.

#### **4. Service and Delivery Vehicles**

Raw material deliveries will be made with 40-ft. containers, dry van or flatbed trucks. Local suppliers will make deliveries in light duty trucks. A scale area for trucks to be weighed will be constructed on site under a covered canopy as illustrated on the project site plan located between the existing building and the proposed manufacturing building.

#### **5. Site Access**

Access to the site is from S. Peach Ave. on the west side of the subject property. S. Peach Ave. is a two-lane undivided road that is maintained by Fresno County and designated as an arterial roadway in the Fresno County General Plan. Trucks currently enter at the existing automatic sliding gate located approximately 350 ft. north of the intersection of S. Peach and E. North Avenues. As detailed in the project site plan, a proposed driveway will be constructed in the northeast corner of the property serving only as an entrance with the exit remaining at the current gate location approximately 350 feet north of the intersection of E. North and N. Peach Avenues. Construction of the proposed driveway will allow the facility to operate more efficiently and reduce possible conflicts between trucks as the volume of the plant increases to its operational volume limits establishes with the approval of CUP No. 3682.

#### **6. Parking**

All parking for employees and company trucks will be located on site. The site currently has 22 parking stalls. Thirty new stalls (ten per building) are required for the new manufacturing/warehouse building, the lab building and the office building for a total of 52 stalls. All parking stalls will be designed and built consistent with county standards.

#### **7. Goods Sold on Site**

The facility is a fertilizer manufacturing and shipping location. No goods or products will be sold directly on-site. Company sales representatives will contact distributors at the buyer's headquarters to make sales.

#### **8. Equipment List**

Equipment used for liquids storage are 500 to 6,000 gallon stainless and polypropylene tanks. Tanks containing raw materials are connected to a piping system which pumps the required quantity of 500 to 3,000 gallons to four existing blender tanks with agitation.

#### **9. What supplies or materials are used and how are they stored?**

The site is fully fenced with a combination of 6-foot-high wrought iron and chain-link fencing. A small section along E. North Ave. has 6-foot brick fencing. All raw materials used in production are stored inside existing or proposed buildings. All materials are stored consistent with the Department of Homeland Security (DHS), Fresno County Hazardous Materials Business Plan (HMBP), and CalFire requirements.

The existing main building has a fire protection sprinkler system and wireless fire alarm system connected to CalFire. This building also has a security alarm system connected 24/7 to ADT Alarm Company. The site is also monitored by video cameras viewed from the administrative office and by the applicant via PC or Smart Phone.

Material used in production include: Amino Acids, Ammonium Molibdate, Ammonium Nitrate, Boric Acid, Calcium Chloride, Calcium EDTA, Calcium Lignosulphonate, Calcium Nitrate, Citric Acid, Copper Chloride, Copper EDTA, Copper Nitrate, Copper Sulfate, Di-Ammonium Phosphate, Humic Acids, Iron Chloride, Iron DTPA, Iron EDDHA, Iron EDTA, Iron Sulfate, Magnesium EDTA, Magnesium Nitrate, Magnesium Sulfate, Manganese EDTA, Manganese Nitrate, Manganese Sulfate, Monoammonium Phosphate, Monopotassium Phosphate, Phosphoric Acid, Phosphorous Acid, Potassium Carbonate, Potassium Chloride, Potassium Hydroxide, Potassium Nitrate, Seaweed, Urea, Urea low Biuret, Zinc Chloride, Zinc EDTA, Zinc Nitrate, Zinc Sulfate. Storage of all material complies with the respective UBC and Fire Codes.

**10. Does the use cause an unsightly appearance? Or cause noise, glare, dust or odor? If so, explain how this will be reduced or eliminated.**

All production activities will take place inside buildings and will not generate outdoor noise, glare, dust or odor. Raw materials and finished products will be stored on site in totes and on pallets.

**Noise**

All production activities will take place inside buildings thereby eliminating any outside noise associated with manufacturing. No outdoor amplification system will be used on the property. Some noise would be generated by vehicle trips in conjunction with delivery of raw materials and shipment of finished products. This noise would be generated along E. North Ave. and for a short distance along N. Peach Ave. as trucks turn in and out of the facility. The closest sensitive receptors are located across N. Peach Ave. and include two residential homes (approximately 150 feet away) as well as the Sunnyside Convalescent Hospital (approximately 300 feet away). A noise study will be prepared to assess project noise.

**Odor**

All production activities will take place inside buildings and will not generate outdoor odor. The production and manufacturing process is completely enclosed and sealed with no open mixing of any kind. The facility is outfitted with a baghouse and air filtration system to prevent raw material particles from being released to the outside environment. All the blending tanks for dry and liquid materials are approved with a Permit to Operate issued by the San Joaquin Valley Air Pollution District (Facility Locator #C-8901). That agency also inspects the site regularly.

### **11. Solid and Liquid Waste**

There will be 0.5 to 2 tons per year of dry waste stored in sacks and 500 to 1,000 gallons of liquid waste stored in 265-gallon totes. Waste removal will occur semi-annually under contract with an appropriate disposal company and applicable storage standards.

Groundwater pollution will be prevented by reducing, reusing and recycling practices. Raw materials, final products and waste materials will be stored inside the buildings in approved containers. The blending process will avoid handling materials which generate by-product waste through the purchase and use of semi-finished raw products which have already been processed.

*Best Practices* will be applied to generate the least amount of rinse water practical and reuse that water for the next batch of the same product. Operational procedures will include steps to avoid any production spillage contacting the soil. Per the requirements of the Regional Water Quality Control Board, containment basins designed with curbs have been installed in specific areas inside the buildings with permanent tanks and materials traps. Monitoring of this basin will also occur per applicable regulations.

As may be required, all tanks will have double containment to retain any spillage. In addition, floors of the manufacturing and warehouse buildings and areas surrounding the buildings will be paved to prevent any raw materials, finished products or waste materials from contacting bare soil. The floor of the manufacturing building is recessed two inches below grade to contain any spillage that may occur. Any spillage will be cleaned immediately per approved protocols. Spillage kits are strategically placed for operators to access quickly. The applicant regularly cleans the site with an electric sweeper and electric scrubber and trains employees in properly dealing with spills.

### **12. Water Consumption**

Water consumption will be approximately 800 gallons per day from an on-site well.

### **13. Signage**

Per county standards, signage will be a 4 ft. by 8 ft. company logo attached to the building.

### **14. Will existing buildings be used or will new buildings be constructed?**

The two existing warehouse buildings will be used as storage for raw materials and finished packaged products and blending. As illustrated in the attached project site plan, a new metal warehouse/manufacturing building will be constructed to warehouse raw materials and finished products.

The existing larger warehouse building with fire sprinklers will continue to be used for product manufacturing. The existing smaller building will be used as storage for plastic jugs, totes and other packaging materials. The office will be used for administration. The new metal warehouse/manufacturing building will be used for storage of raw materials and finished goods. The laboratory will be used for quality control of the materials received and the final blends to be sold.

**15. Outdoor Lighting**

There will be outdoor security lights which are hooded and diverted downward so as to avoid annoying neighboring property owners.

**16. Landscaping & Fencing**

As previously described, the entire site is surrounded with 6-foot-tall fencing. A project landscaping plan will be prepared for the site frontage on E. North and N. Peach Avenues.

**17. Other information that will provide a clear understanding of the project.**

The applicant has proposed conditional M-3 zoning which will limit the uses that can be developed on the rezoned parcels to uses which would not generate significant traffic, noise or odors (see Attachment “A”, Conditional M-3).

The applicant contemplates constructing the proposed structures in phases. Assuming current product demand, the table below provides an anticipated building construction schedule. Note prior to construction of the canopy, the building that is attached to the existing Manufacturing/Warehouse building will be demolished after the new Manufacturing/Warehouse building has been constructed and operational. (Please see Attachment “G” Demolition Plan).

<b>Proposed Buildings</b>	<b>Size</b>	<b>Estimated Year</b>
Manufacturing/Warehouse	44,550 sq. ft.	2024
Office	7,500 sq. ft.	2024
Lab	4,900 sq. ft.	2024
Demolition of Building “A”	9,600 sq. ft.	2026
Future Canopy following demolition	11,199 sq. ft.	2027
Future Warehouse (southern parcel)	10,535 sq. ft.	2028
Future Manufacturing/Warehouse	300,000 sq. ft.	2032

All building construction will be based on demand for various products. Should product demand change, the building sequence could also change. Grading and drainage to the site will

correspond to the building sequence and schedule. All grading will be performed per county standards and a master grading plan prepared by project civil engineer.

### **Safety Protocols**

The only flammable material stored on site, Ethylenediamine, is kept in three specially designed rooms to prevent and contain fire caused by ignition of this liquid. The three specially designed rooms are only accessible from doors on the exterior of the existing building with no interior access.

The project has numerous protocols and permits that direct operation of the facility to ensure it is safely operated and maintained. These include the following:

- 1) Environmental Health Permit issued by Fresno County.
- 2) Inspections and annual reporting to the Department of Homeland Security. This includes maintaining logs of materials, having cameras monitor the site, etc. Locations where potassium nitrate is stored are also identified.
- 3) Hazardous Materials Business Plan with an inventory of hazardous materials and proper handling of storage of same as required by the California Environmental Protection Agency.
- 4) Hazardous Waste Generator Permit from the Environmental Protection Agency (#CAC003279024) and CA State ID # CAR000369397.
- 5) State Water Board Stormwater Waste Discharge Identification #5F10I030636.
- 6) Permit to Operate and yearly inspection by San Joaquin Valley Air Pollution District, (Facility Locator # C-8901).
- 7) Electronically reporting, collecting, and managing hazardous materials-related data to the California Environmental Reporting System. (CERS).
- 8) Signage for materials classifications and parking as required by CalFire.
- 9) Compliance with Federal Occupational Safety and Health Administration – Process Safety Management Standard (29 CFR 1910.119) which includes requirements for preventing or minimizing the consequences of catastrophic releases of toxic, reactive, flammable, or explosive chemicals. Requirements of this standard include providing employees with information pertaining to hazardous chemicals, training employees on the operation of equipment with hazardous materials, and employer requirements to perform a process hazards analysis.
- 10) Compliance with the provisions of the Toxic Substances Control Act (TSCA) including reporting, record-keeping and testing requirements, and restriction relating to chemical substances and/or mixtures.



### **Discharge Permits for Washing Equipment**

Rinse water from washing contains minimal traces of fertilizer and is reused in making the same fertilizer product. All rinse and run-off water is captured in traps and basins on-site. No permits are required for the rinse water discharged from the washing operation because the water is recycled back into the production process.

### **Project Compliance History**

The project has a good record of safety and regulatory compliance. The facility has had no issues of reported spills, fume exposure or employee injuries due to a malfunction or human error.

### **Inside Operations**

All manufacturing operations will occur inside the main building. Some raw materials and finished products will also be temporarily stored inside until used or picked up for shipment.

**TABLE 2-8  
ALLOWABLE USES AND PERMIT REQUIREMENTS  
FOR INDUSTRIAL ZONES (Continued)**

Land Use <sup>1</sup>	Permit Requirement by Zone <sup>2</sup>				
	C-M	M-1	M-2	M-3	See Section
<b>Manufacturing and Assembly</b>					
<del>Blacksmith</del>			P		
<del>Boat Building and Repairing</del>	P	P	P	P	834.4.450
<del>Electrical Equipment Manufacturing</del>	P	P	P	P	834.4.450
Jewelry Manufacturing	P	P	P	P	834.4.450
Leather Products Manufacturing		P	P	P	834.4.450
<del>Motor Vehicle Manufacturing</del>		C	C	C	834.4.450
<del>Paint Manufacturing</del>			C	D	834.4.450
Textile Products Manufacturing	P	P	P	P	834.4.450
<del>Tire Recapping, Retreading, and Rebuilding</del>	P	P	P	P	834.4.450
<del>Transportation Product Assembly</del>		C	C	C	
<del>Warehousing and Wholesaling (up to 10,000 square feet in gross floor area)</del>	P	P	P	P	834.4.450
<del>Warehousing and Wholesaling (greater than 10,001 square feet in gross floor area)</del>	D	D	D	D	834.4.450
<del>Welding</del>	P	P	P	P	

**Key to Permit Requirements**

Symbol	Applicable Process	See Chapter
P	Permitted use	
C	Conditional Use Permit required	842.5
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TUP	Temporary Use Permit required	858.5
<i>Blank</i>	Use not allowed	

**Notes:**

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**TABLE 2-8  
ALLOWABLE USES AND PERMIT REQUIREMENTS  
FOR INDUSTRIAL ZONES (Continued)**

Land Use <sup>1</sup>	Permit Requirement by Zone <sup>2</sup>				
	C-M	M-1	M-2	M-3	See Section
<b>Manufacturing and Processing</b>					
<del>Beverage Production</del>	P	P	P	P	834.4.450
<del>Canning and Kindred Food Products Manufacturing</del>				C	834.4.450
Chemical Products Manufacturing				C	834.4.450
<del>Clothing Products Manufacturing</del>		P	P	P	834.4.450
<del>Concrete and Cement Products Manufacturing</del>		C	D	D	834.4.450
<del>Concrete, Gypsum, and Plaster Product Manufacturing</del>				C	834.4.450
<del>Cosmetic Products Manufacturing</del>	P	P	P	P	834.4.450
Dairy Products Manufacturing	D	P	P	P	834.4.450
<del>Electronic Motor Rebuilding</del>	D	P	P		
<del>Explosives, Fireworks, and Ordinance Manufacturing</del>				C	834.4.450
<del>Fabric Product Manufacturing</del>	P	P	P	D	834.4.450
<del>Food and Beverage Manufacturing</del>	P	P	P	D	834.4.450
<del>Furniture/Fixture/Cabinet Shops</del>	P	P	P	P	
<del>Glass Products Manufacturing</del>		P	P	D	834.4.450
<del>Grain Elevators</del>		P	P	P	

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**TABLE 2-8  
ALLOWABLE USES AND PERMIT REQUIREMENTS  
FOR INDUSTRIAL ZONES (Continued)**

Land Use <sup>1</sup>	Permit Requirement by Zone <sup>2</sup>				
	C-M	M-1	M-2	M-3	See Section
<b>Manufacturing and Processing (Continued)</b>					
Handcraft Industries, Small – Scale Manufacturing.		P	P	P	
Laboratories	P	P	P	P	
<del>Laundries and Dry Cleaning Plants</del>	P	P	P	P	
<del>Lumber and Wood Products</del>	P	P	P	P	834.4.450
<del>Lumber and Wood Products, Including Planing Mill</del>		P	P	P	834.4.450
<del>Machinery Manufacturing, General (No Punch Presses and/or Drop Hammers greater than 20 tons)</del>	D	P	P	P	834.4.450
<del>Machinery Manufacturing, Heavy (With Punch Presses and/or Drop Hammers greater than 20 tons)</del>		C	C	C	834.4.450
<del>Medical marijuana cultivation facilities</del>		P	P	P	Chapter 6.60
<del>Metal Industries</del>			C	D	
<del>Meat packing and processing (NO On-Site Animal Slaughtering)</del>	C	D	P	P	834.4.450
<del>Meat processing, commercial (With On-Site Animal Slaughtering)</del>				C	834.4.450
Monument and Tombstone Works		P	P	P	
<del>Paper Products Manufacturing</del>		P	P	P	834.4.450

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Land Use <sup>1</sup>	Permit Requirement by Zone <sup>2</sup>				
	C-M	M-1	M-2	M-3	See Section
<b>Services</b>					
Advertising Structures	P	P	P	P	
<del>Animal Hospitals/Veterinary Clinics</del>	C	P	P	P	
<del>Auction Houses</del>	P	C			
<del>Automated Teller Machines (ATM's), Drive Up</del>	P	P	P	P	
<del>Automated Teller Machines (ATM's), Walk-Up</del>	P	P	P	P	
<del>Banks and Financial Services</del>	P	P	P	P	
<del>Bars and Alcoholic Beverage Drinking Places</del>	D	D	D	D	834.4.080
<del>Business Support Services</del>	P				
<del>Carpet and Rug Cleaning Plants</del>	P				834.4.450
<del>Cleaning and Dyeing Shops</del>	P				
<del>Copy Services</del>	P				
<del>Delicatessens</del>	P	P	P	P	
<del>Equipment Rental/Sales</del>	P	P	P		
<del>Farm Equipment Services</del>	P				
<del>Kennels</del>	C	P	P	P	
<del>Laboratories</del>	P	P	P		

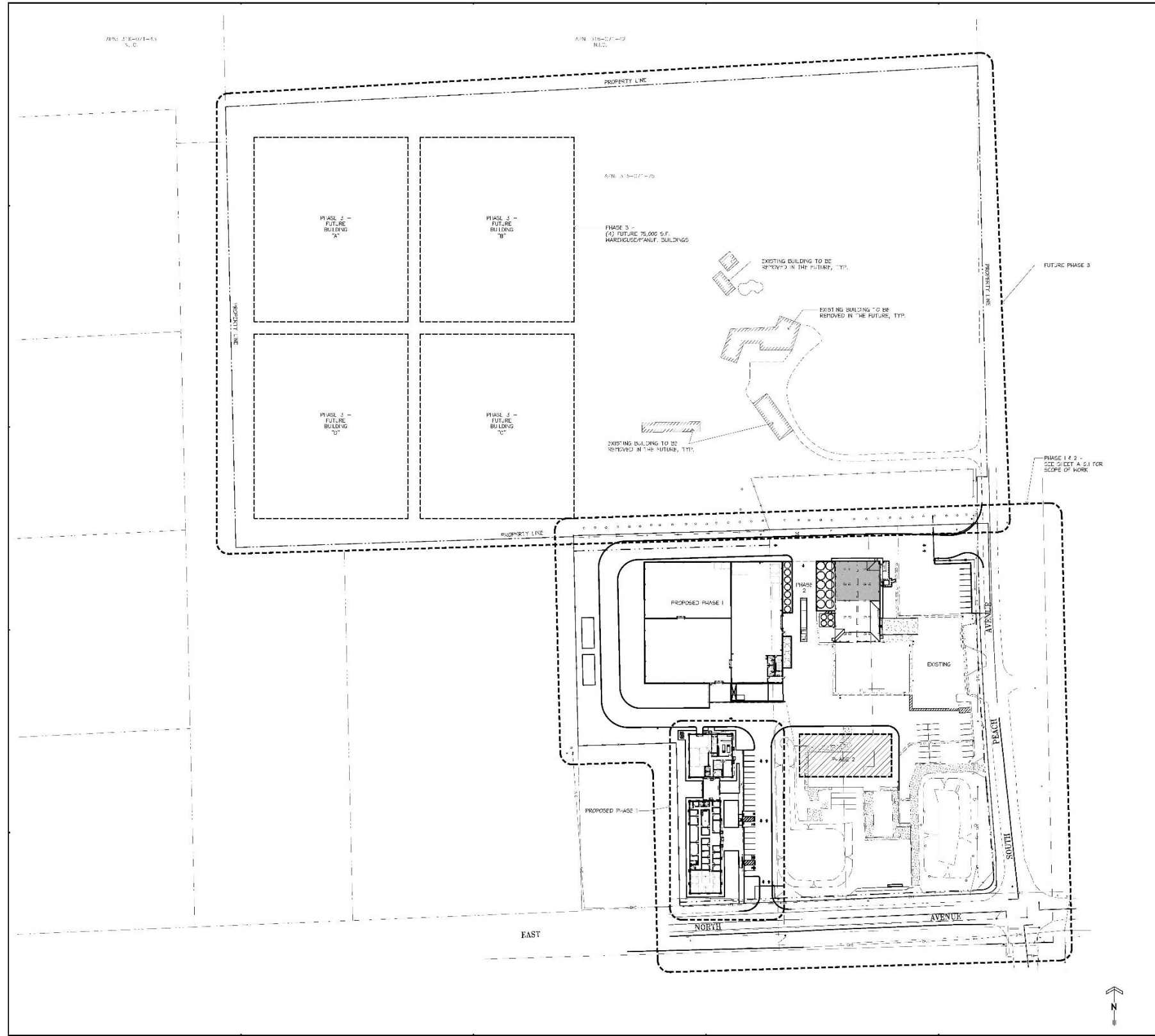
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# Attachment "B" Overall Site Plan



**KEYED NOTES**



**PROJECT**  
 PROPOSED ENTITLEMENT FOR:  
 AGROPLANTAE MASTER SITE PLAN  
 2976 SOUTH PEACH  
 FRESNO, CA. 93725

**STATUS**

Current Release Date	04-16-2024
Planning Submittal	--
Plan Check Submittal	--

**REVISIONS**

△	
△	
△	
△	
△	

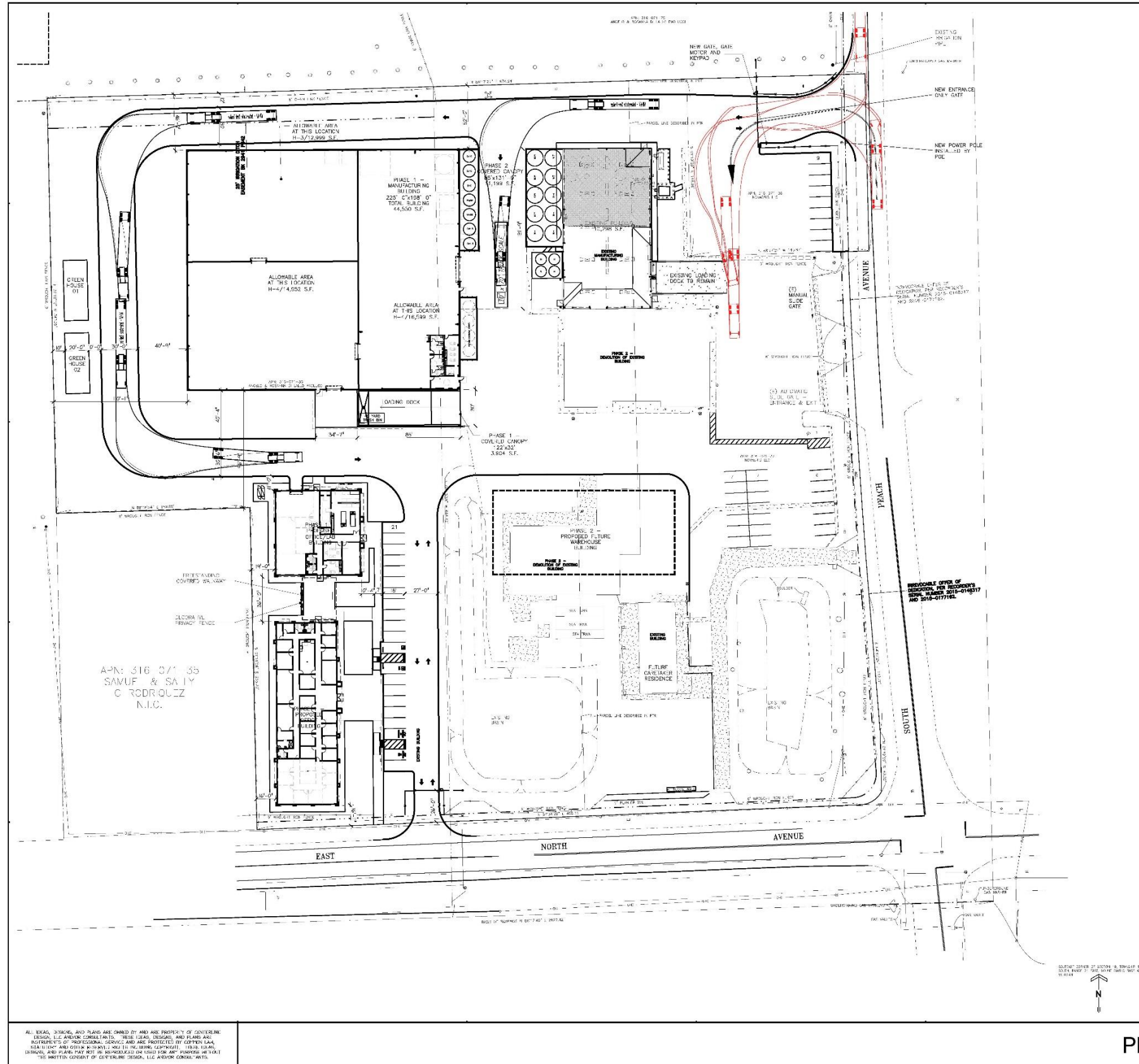
**IDENTIFICATION**

Scale	1" = 40'
Project Coordinator	WENDY HARRIS
Project No.	23-161
Sheet	A-0.0

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## OVERALL SITE PLAN

Attachment "C"  
Proposed Site Plan



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PROPOSED SITE PLAN



**CENTERLINE DESIGN, LLC**  
PLANNING - DESIGN - CONSULTING  
1808 TOLLHOUSE ROAD, SUITE C  
CLOWIS, CALIFORNIA 95111  
509.266.3000 (OFFICE)  
509.266.2887 (FAX)

PROJECT  
PROPOSED ENTITLEMENT FOR:  
AGROPLANTAE MASTER SITE PLAN  
2976 SOUTH PEACH  
FRESNO, CA. 93725

STATUS

Current Release Date	04-16-2024
Planning Submittal	...
Plan Check Submittal	...

REVISIONS

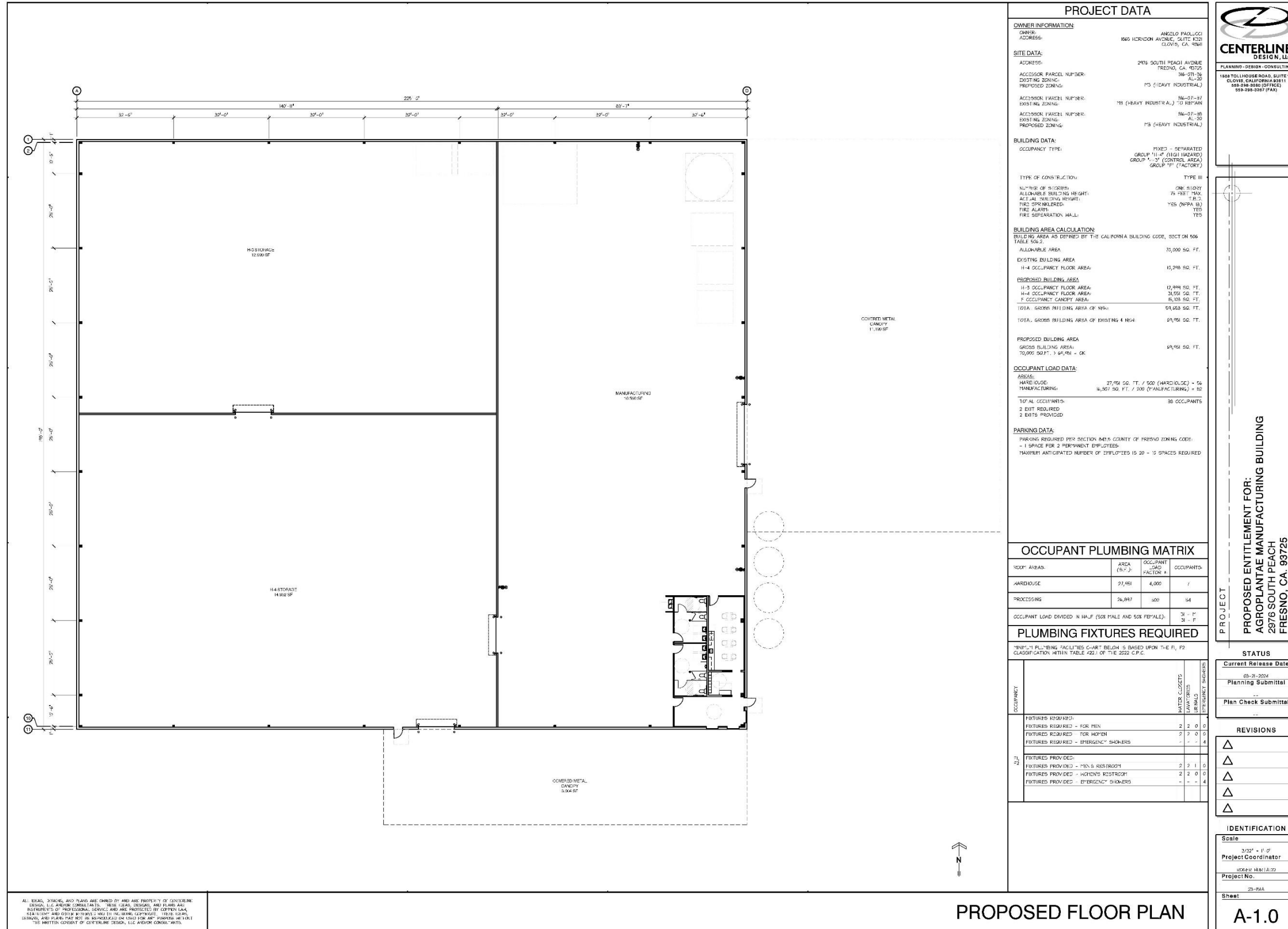
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IDENTIFICATION

Scale	1:30
Project Coordinator	MARK HUBBARD
Project No.	23-161
Sheet	A-0.1

A-0.1

Attachment "D"  
Manufacturing/Warehouse Building Plan



**PROJECT DATA**

**OWNER INFORMATION:**  
OWNER: ANGELO PAOLICCI  
ADDRESS: 1645 HORDON AVENUE, SUITE K301  
CLOVIS, CA 95311

**SITE DATA:**  
ADDRESS: 2976 SOUTH PEACH AVENUE  
FRESNO, CA 93725  
ACCESSOR PARCEL NUMBER: 36-071-36  
EXISTING ZONING: M-20  
PROPOSED ZONING: M3 (HEAVY INDUSTRIAL)

ACCESSOR PARCEL NUMBER: 36-071-37  
EXISTING ZONING: M3 (HEAVY INDUSTRIAL) TO RE-FAN

ACCESSOR PARCEL NUMBER: 36-071-38  
EXISTING ZONING: M3 (HEAVY INDUSTRIAL)

**BUILDING DATA:**  
OCCUPANCY TYPE: MIXED - SEPARATED  
GROUP 1: 11 (HIGH HAZARD)  
GROUP 1: 3 (CONTROL AREA)  
GROUP 1: 1 (FACTORY)

**TYPE OF CONSTRUCTION:** TYPE III  
NUMBER OF STORIES: ONE STORY  
ALLOWABLE BUILDING HEIGHT: 25 FEET MAX.  
ACTUAL BUILDING HEIGHT: 18'-3"  
FIRE SPRINKLERED: YES (NFPA 13)  
FIRE ALARMS: YES  
FIRE SEPARATION WALL: YES

**BUILDING AREA CALCULATION:**  
BUILDING AREA AS DEFINED BY THE CALIFORNIA BUILDING CODE, SECT ON 506  
TABLE 506.2:  
ALLOWABLE AREA: 75,000 SQ. FT.  
EXISTING BUILDING AREA:  
H-4 OCCUPANCY FLOOR AREA: 15,298 SQ. FT.  
**PROPOSED BUILDING AREA:**  
H-3 OCCUPANCY FLOOR AREA: 12,900 SQ. FT.  
H-4 OCCUPANCY FLOOR AREA: 10,500 SQ. FT.  
F OCCUPANCY CANOPY AREA: 8,100 SQ. FT.  
TOTAL GROSS BUILDING AREA OF NEW: 61,500 SQ. FT.  
TOTAL GROSS BUILDING AREA OF EXISTING + NEW: 68,798 SQ. FT.  
PROPOSED BUILDING AREA:  
GROSS BUILDING AREA: 68,798 SQ. FT.  
70,000 SQ. FT. > 68,798 = OK

**OCCUPANT LOAD DATA:**  
AREAS:  
WAREHOUSE: 27,951 SQ. FT. / 500 (WAREHOUSE) = 56  
MANUFACTURING: 10,500 SQ. FT. / 200 (MANUFACTURING) = 52  
TOTAL OCCUPANTS: 108 OCCUPANTS  
2 EXITS REQUIRED  
2 EXITS PROVIDED

**PARKING DATA:**  
PARKING REQUIRED PER SECTION 941.5 COUNTY OF FRESNO ZONING CODE:  
- 1 SPACE PER 2 PERMANENT EMPLOYEES  
ANTICIPATED NUMBER OF EMPLOYEES IS 20 - 10 SPACES REQUIRED

**OCCUPANT PLUMBING MATRIX**

ROOM AREAS	AREA (S.F.)	OCCUPANT LOAD FACTOR #	OCCUPANTS
WAREHOUSE	27,951	4,000	7
PROCESSING	26,897	500	54
OCCUPANT LOAD DIVIDED IN HALF (50% MALE AND 50% FEMALE): M - 7 F - 7			

**PLUMBING FIXTURES REQUIRED**

"MIN." IS PLUMBING FACILITIES CHART BELOW IS BASED UPON THE F1, F2 CLASSIFICATION WITHIN TABLE 422.1 OF THE 2022 C.F.C.

OCCUPANCY	FIXTURES REQUIRED:	WATER CLOSETS		LAVATORIES		URINALS		EMERGENCY SHOWERS	
		MIN.	MAX.	MIN.	MAX.	MIN.	MAX.	MIN.	MAX.
WAREHOUSE	FIXTURES REQUIRED - FOR MEN:	2	2	0	0	0	0	0	0
	FIXTURES REQUIRED - FOR WOMEN:	2	2	0	0	0	0	0	0
	FIXTURES REQUIRED - EMERGENCY SHOWERS:	-	-	-	-	4	4	-	-
MANUFACTURING	FIXTURES PROVIDED:	2	2	1	1	0	0	0	0
	FIXTURES PROVIDED - MEN'S RESTROOM:	2	2	1	1	0	0	0	0
	FIXTURES PROVIDED - WOMEN'S RESTROOM:	2	2	0	0	0	0	0	0
	FIXTURES PROVIDED - EMERGENCY SHOWERS:	-	-	-	-	4	4	-	-



1808 TOLLHOUSE ROAD, SUITE C  
CLOVIS, CALIFORNIA 95311  
509.288.3000 (OFFICE)  
509.288.3187 (FAX)

PROPOSED ENTITLEMENT FOR:  
AGROPLANTAE MANUFACTURING BUILDING  
2976 SOUTH PEACH  
FRESNO, CA. 93725

**STATUS**

Current Release Date
03-21-2024
Planning Submittal
Plan Check Submittal

**REVISIONS**

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△
△

**IDENTIFICATION**

Scale  
3/32" = 1' 0"  
Project Coordinator  
JAMES HUBBARD  
Project No.  
25-00A  
Sheet

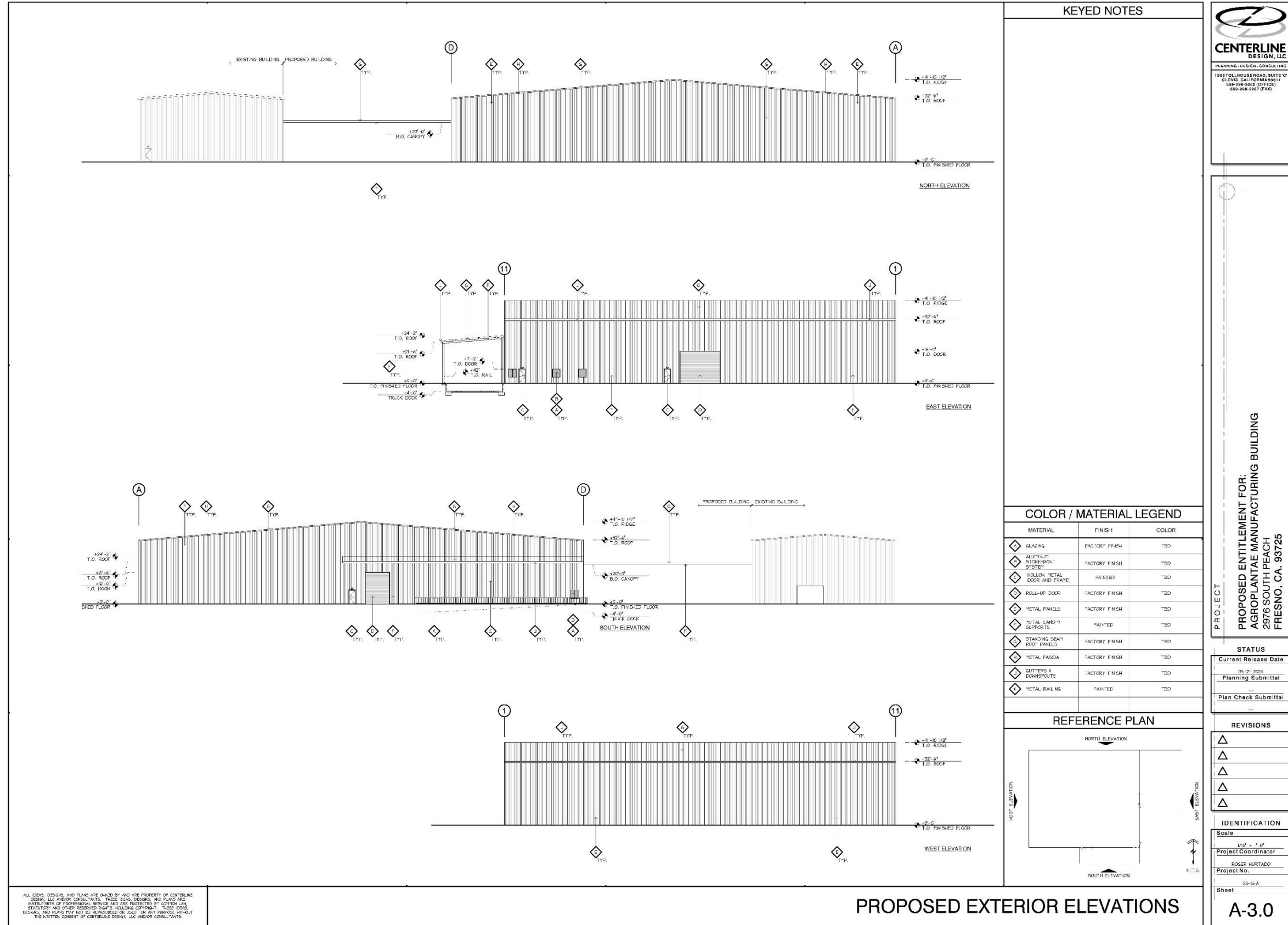
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**PROPOSED FLOOR PLAN**



Attachment "D"  
Manufacturing/Warehouse Building Plan

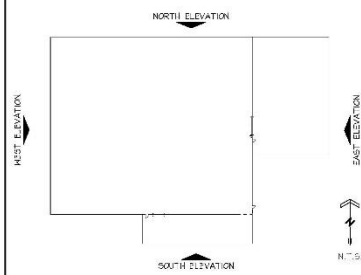


KEYED NOTES

COLOR / MATERIAL LEGEND

MATERIAL	FINISH	COLOR
GLASS	FACTORY FINISH	30
ALUMINUM SIDING-WOOD SYSTEM	FACTORY FINISH	30
YELLOW METAL DOOR AND FRAME	PAINTED	30
ROLL-UP DOOR	FACTORY FINISH	30
METAL PANELS	FACTORY FINISH	30
METAL CANOPY SUPPORTS	PAINTED	30
STANDING SEAM ROOF PANELS	FACTORY FINISH	30
METAL FASCIA	FACTORY FINISH	30
GUTTERS & DOWNSPOUTS	FACTORY FINISH	30
METAL RAILING	PAINTED	30

REFERENCE PLAN



**CENTERLINE DESIGN, LLC**  
PLANNING · DESIGN · CONSULTING  
1503 TOLLHOUSE ROAD, SUITE 101  
CLOVIS, CALIFORNIA 95311  
509-388-8088 (OFFICE)  
509-388-3267 (FAX)

PROJECT  
**PROPOSED ENTITLEMENT FOR:  
AGROPLANTAE MANUFACTURING BUILDING  
2876 SOUTH PEACH  
FRESNO, CA. 93725**

STATUS

Current Release Date	03-27-2024
Planning Submittal	---
Plan Check Submittal	---

REVISIONS

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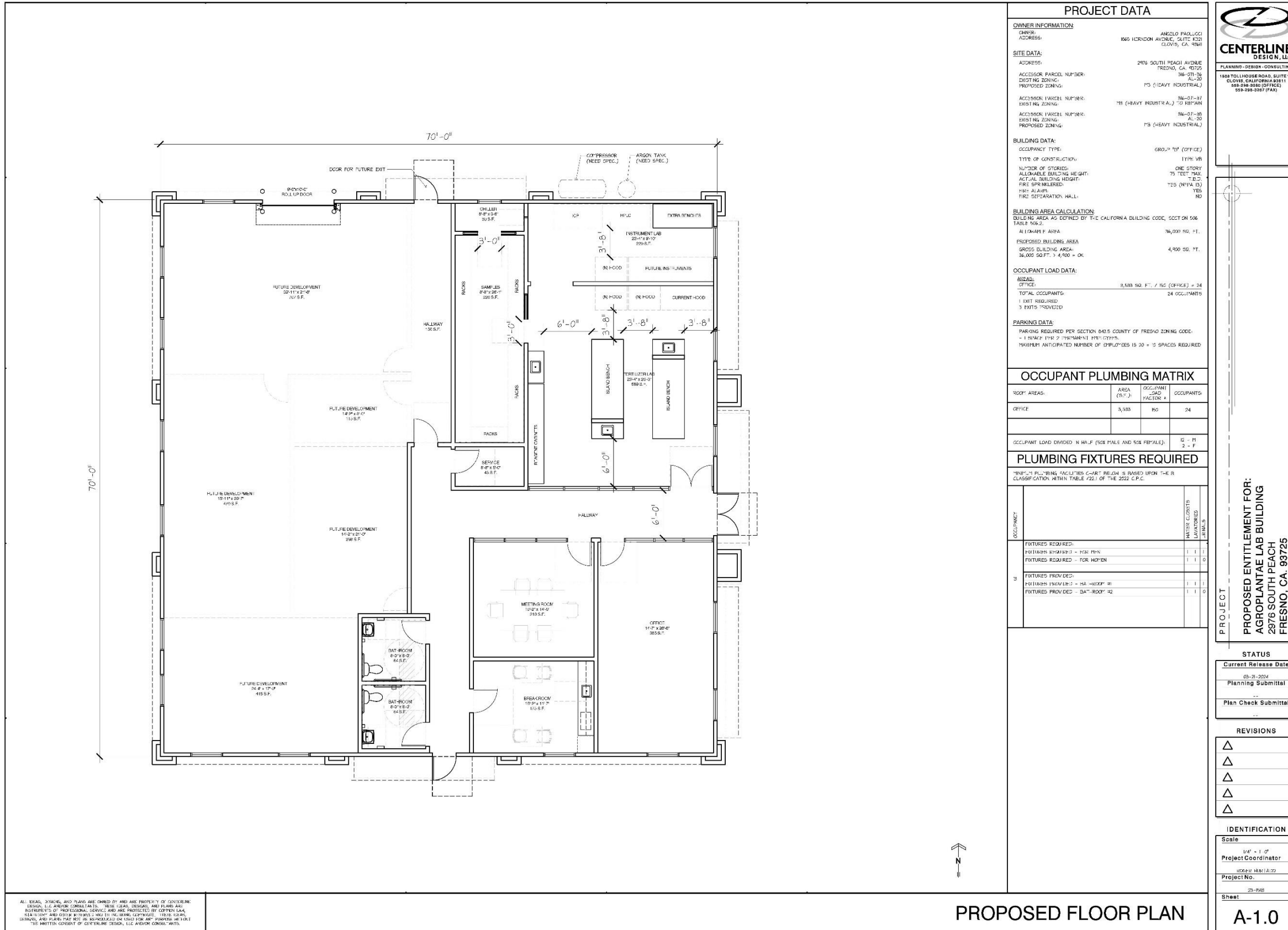
IDENTIFICATION

Scale	1/2" = 1'-0"
Project Coordinator	ROGER HURTADO
Project No.	23-15A
Sheet	A-3.0

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PROPOSED EXTERIOR ELEVATIONS

Attachment "E"  
Lab Building Plan



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PROPOSED FLOOR PLAN

PROJECT DATA

**OWNER INFORMATION:**  
OWNER: ANGELO PAGLIUCCI  
ADDRESS: 1645 HORDON AVENUE, SUITE K301  
CLOVIS, CA 95311

**SITE DATA:**  
ADDRESS: 2976 SOUTH PEACH AVENUE  
FRESNO, CA 93726  
ACCESSOR PARCEL NUMBER: 36-071-36  
EXISTING ZONING: AU-20  
PROPOSED ZONING: M3 (HEAVY INDUSTRIAL)

ACCESSOR PARCEL NUMBER: 36-071-37  
EXISTING ZONING: M3 (HEAVY INDUSTRIAL) TO RE-AM

ACCESSOR PARCEL NUMBER: 36-071-38  
EXISTING ZONING: AU-20  
PROPOSED ZONING: M3 (HEAVY INDUSTRIAL)

**BUILDING DATA:**  
OCCUPANCY TYPE: GROUP 10 (OFFICE)  
TYPE OF CONSTRUCTION: TYPE VB  
NUMBER OF STORIES: ONE STORY  
ALLOWABLE BUILDING HEIGHT: 75 FEET MAX.  
ACTUAL BUILDING HEIGHT: 12'-2"  
FIRE SPRINKLERED: YES (NFPA 13)  
FIRE ALARMS: YES  
FIRE SEPARATION HALL: NO

**BUILDING AREA CALCULATION:**  
BUILDING AREA AS DEFINED BY THE CALIFORNIA BUILDING CODE, SECTION 506 TABLE 506.2:  
ALLOWABLE AREA: 36,000 SQ. FT.  
PROPOSED BUILDING AREA: 36,000 SQ. FT. - 4,100 = OK  
GROSS BUILDING AREA: 4,100 SQ. FT.

**OCCUPANT LOAD DATA:**  
AREA: 3,588 SQ. FT. / 150 (OFFICE) = 24  
TOTAL OCCUPANTS: 24 OCCUPANTS  
1 EXIT REQUIRED  
3 EXITS PROVIDED

**PARKING DATA:**  
PARKING REQUIRED PER SECTION 949.5 COUNTY OF FRESNO ZONING CODE:  
= 1 SPACE PER 2 WORKING PERSONS (OFFICE)  
MAXIMUM ANTICIPATED NUMBER OF EMPLOYEES IS 20 = 10 SPACES REQUIRED

OCCUPANT PLUMBING MATRIX

ROOM AREAS	AREA (S.F.)	OCCUPANT LOAD FACTOR	OCCUPANTS
OFFICE	3,588	150	24

OCCUPANT LOAD DIVIDED IN HALF (50% MALE AND 50% FEMALES):  
M - 12  
F - 12

PLUMBING FIXTURES REQUIRED

MINIMUM PLUMBING FACILITIES SHOWN BELOW IS BASED UPON THE R.C. CLASSIFICATION WITHIN TABLE 722.1 OF THE 2022 C.P.C.

OCCUPANCY	FIXTURES REQUIRED	FIXTURES PROVIDED
OFFICE	FIXTURES REQUIRED - FOR MEN	1   1   1
	FIXTURES REQUIRED - FOR WOMEN	1   1   0
B	FIXTURES PROVIDED - MA - ROOM #1	1   1   1
	FIXTURES PROVIDED - BA - ROOM #2	1   1   0



**CENTERLINE DESIGN, LLC**  
PLANNING - DESIGN - CONSULTING  
1808 TOLLHOUSE ROAD, SUITE C  
CLOVIS, CALIFORNIA 95311  
503.288.3000 (OFFICE)  
503.288.3187 (FAX)

PROJECT  
PROPOSED ENTITLEMENT FOR:  
AGROPLANTAE LAB BUILDING  
2976 SOUTH PEACH  
FRESNO, CA. 93726

STATUS

Current Release Date	03-21-2024
Planning Submittal	--
Plan Check Submittal	--

REVISIONS

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IDENTIFICATION

Scale  
1/4" = 1'-0"  
Project Coordinator  
JAMES HUBBARD  
Project No.  
25-PBR

Sheet  
A-1.0

# Attachment "E" Lab Building Plan

**NORTH ELEVATION**

- 2'-0" T.O. PARAPET
- 1'-0" T.O. PARAPET
- 1'-0" B.O. SOFFIT
- 1'-0" B.O. SOFFIT
- 1'-0" T.O. CANOPY
- 1'-0" T.O. DOOR
- 1'-0" T.O. GLAZING
- 1'-0" B.O. SILL
- 1'-0" T.O. SLAB

**EAST ELEVATION**

- 2'-0" T.O. PARAPET
- 2'-0" T.O. PARAPET
- 1'-0" T.O. PARAPET
- 1'-0" B.O. SOFFIT
- 1'-0" T.O. CANOPY
- 1'-0" T.O. GLAZING
- 1'-0" B.O. SILL
- 1'-0" T.O. SLAB

**SOUTH ELEVATION**

- 2'-0" T.O. PARAPET
- 2'-0" T.O. PARAPET
- 1'-0" T.O. PARAPET
- 1'-0" B.O. SOFFIT
- 1'-0" B.O. SOFFIT
- 1'-0" T.O. CANOPY
- 1'-0" T.O. GLAZING
- 1'-0" B.O. SILL
- 1'-0" T.O. SLAB

**WEST ELEVATION**

- 2'-0" T.O. PARAPET
- 2'-0" T.O. PARAPET
- 1'-0" T.O. PARAPET
- 1'-0" B.O. SOFFIT
- 1'-0" B.O. SOFFIT
- 1'-0" T.O. CANOPY
- 1'-0" T.O. GLAZING
- 1'-0" B.O. SILL
- 1'-0" T.O. SLAB

### KEYED NOTES

**COLOR / MATERIAL LEGEND**

MATERIAL	FINISH	COLOR
CEMENT PLASTER (FIELD)	PAINTED	TBD
CEMENT PLASTER (FIELD)	PAINTED	TBD
CEMENT PLASTER (ACCENT)	PAINTED	TBD
CEMENT PLASTER (ACCENT)	PAINTED	TBD
CEMENT PLASTER (TRIM)	PAINTED	TBD
GLAZING	FACTORY FINISH	TBD
STOREFRONT DOOR	FACTORY FINISH	TBD
ALUMINUM STOREFRONT SYSTEM	FACTORY FINISH	TBD
METAL CANOPY	PAINTED	TBD
STONE VENEER	FACTORY FINISH	TBD
FIBER BOARD PANEL	FACTORY FINISH	TBD
VERTICAL STANDING SEAM PANELS	FACTORY FINISH	TBD
METAL PANEL	FACTORY FINISH	TBD
ROLL-UP DOOR	FACTORY FINISH	TBD
PRIVACY SCREEN	PAINTED / FACTORY FINISH	TBD
COVERED WALK-WAY	PAINTED	TBD

### REFERENCE PLAN

**PROPOSED EXTERIOR ELEVATIONS**

**PROJECT**  
**PROPOSED ENTITLEMENT FOR:**  
**AGROPLANTAE LAB BUILDING**  
**2876 SOUTH PEACH**  
**FRESNO, CA. 93725**

**STATUS**

Current Release Date	05-21-2024
Planning Submittal	---
Plan Check Submittal	---

**REVISIONS**

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**IDENTIFICATION**

Scale	3/8" = 1'-0"
Project Coordinator	ROGER HURTADO
Project No.	23-15-B
Sheet	A-3.0

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# Attachment "F" Office Building Plan

## OCCUPANT PLUMBING MATRIX

ROOM AREAS	AREA (S.F.)	OCCUPANT LOAD FACTOR	OCCUPANTS
OFFICE	5,762	50	288

OCCUPANT LOAD DIVIDED IN HALF (50% MALE AND 50% FEMALE): 20 - M / 20 - F

## PLUMBING FIXTURES REQUIRED

MINIMUM PLUMBING FACILITIES CHART BELOW IS BASED UPON THE B CLASSIFICATION M1-M TABLE 402.1 OF THE 2022 CODE.

OCCUPANCY	WATER CLOSETS	WATER URINALS	WATER SINKS
FIXTURES REQUIRED			
FIXTURES REQUIRED FOR MEN	1	1	0
FIXTURES REQUIRED FOR WOMEN	2	0	0
FIXTURES PROVIDED			
FIXTURES PROVIDED - BATHROOM #1	1	1	0
FIXTURES PROVIDED - BATHROOM #2	1	0	0
FIXTURES PROVIDED - BATHROOM #3	1	0	0

## PROJECT DATA

**OWNER INFORMATION:**  
OWNER: ANGELO PAOLICCI  
ADDRESS: 1645 HORDON AVENUE, SUITE 1031  
CLOVIS, CA 95311

**SITE DATA:**  
ADDRESS: 2976 SOUTH PEACH AVENUE  
FRESNO, CA 93725  
ACCESSOR PARCEL NUMBER: 36-271-36  
EXISTING ZONING: AL-20  
PROPOSED ZONING: M3 (HEAVY INDUSTRIAL)

ACCESSOR PARCEL NUMBER: 36-071-37  
EXISTING ZONING: M3 (HEAVY INDUSTRIAL) TO RE-MAN

ACCESSOR PARCEL NUMBER: 36-071-38  
EXISTING ZONING: AL-20  
PROPOSED ZONING: M3 (HEAVY INDUSTRIAL)

**BUILDING DATA:**  
OCCUPANCY TYPE: GROUP 10 (OFFICE)  
TYPE OF CONSTRUCTION: TYPE VB  
NUMBER OF STORIES: ONE STORY  
ALLOWABLE BUILDING HEIGHT: 75 FEET MAX.  
ACTUAL BUILDING HEIGHT: 12.2  
FIRE SPRINKLERED: YES (NFPA 10)  
HAB ALARMS: YES  
FIRE SEPARATION HALL: NO

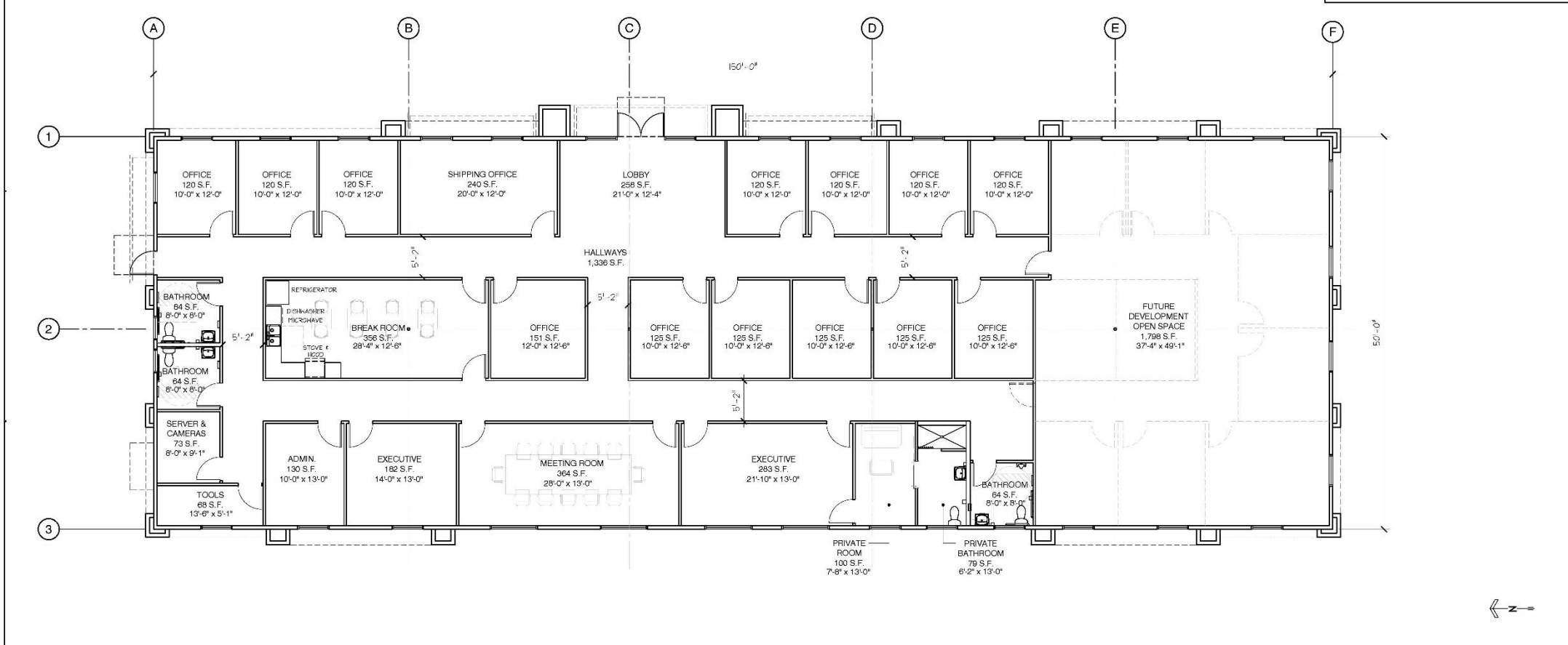
**BUILDING AREA CALCULATION:**  
BUILDING AREA AS DEFINED BY THE CALIFORNIA BUILDING CODE, SECTION 506 TABLE 506.2:  
ALLOWABLE FLOOR AREA: 36,000 SQ. FT.  
PROPOSED BUILDING AREA: 7,500 SQ. FT.  
GROSS BUILDING AREA: 7,500 SQ. FT.  
GROSS SQ. FT. > 7,500 = OK

**OCCUPANT LOAD DATA:**  
AREAS:  
OFFICE: 5,762 SQ. FT. / 50 (OFF. CE.) = 288  
TOTAL OCCUPANTS: 288 OCCUPANTS  
2 EXITS REQUIRED  
2 EXITS PROVIDED

**PARKING DATA:**  
PARKING REQUIRED PER SECTION 648.5 COUNTY OF FRESNO ZONING CODE:  
- 1 SPACE PER 2 PERMANENT EMPLOYEES  
MINIMUM ANTICIPATED NUMBER OF SPACES 145 TO - 12 SPACES REQUIRED



PLANNING - DESIGN - CONSULTING  
1808 TOLLHOUSE ROAD, SUITE C  
CLOVIS, CALIFORNIA 95311  
509.288.3000 (OFFICE)  
509.288.3187 (FAX)



PROJECT  
PROPOSED ENTITLEMENT FOR:  
AGROPLANTAE OFFICE BUILDING  
2976 SOUTH PEACH  
FRESNO, CA. 93725

### STATUS

Current Release Date
03-21-2024
Planning Submittal
Plan Check Submittal

### REVISIONS

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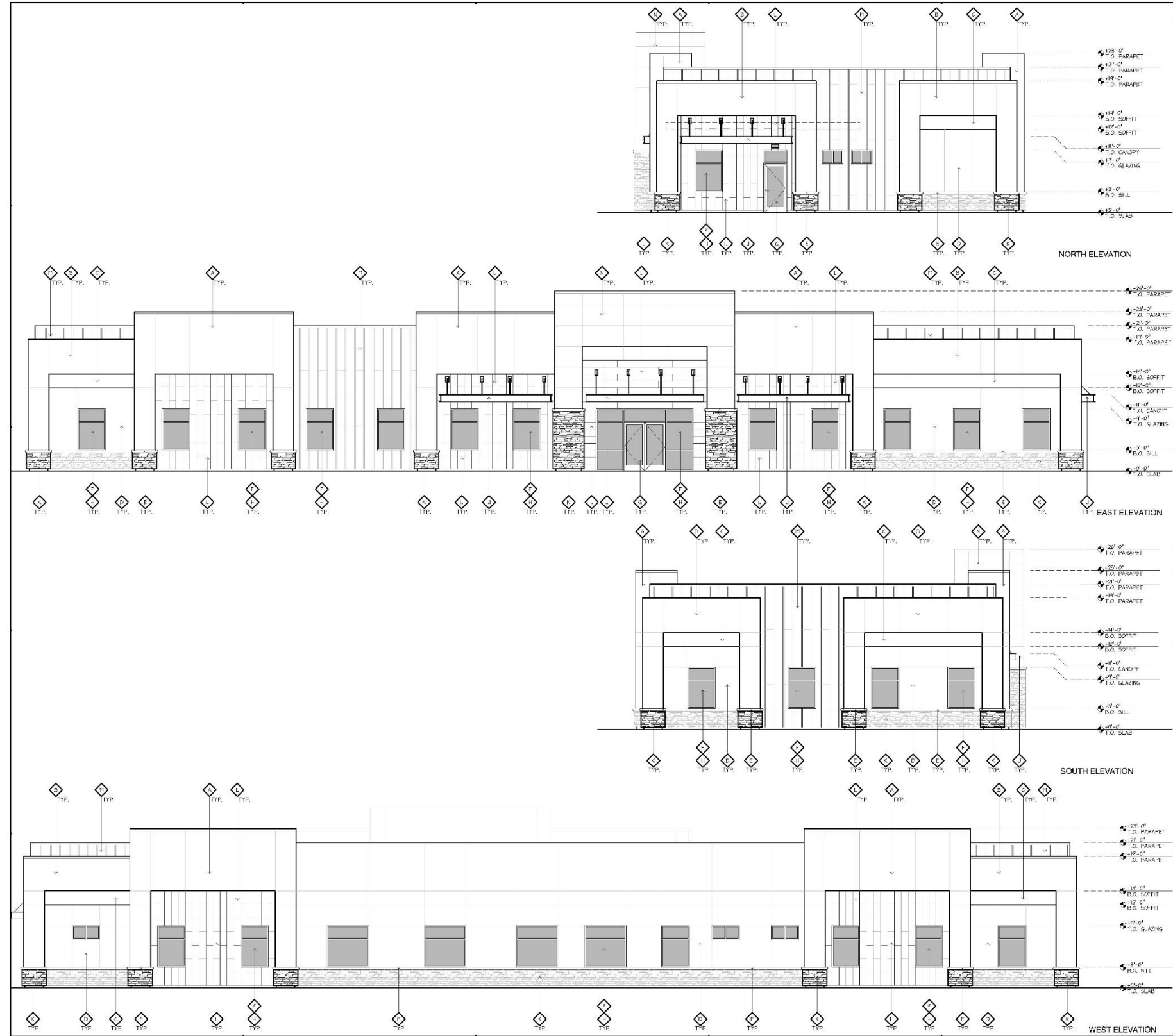
### IDENTIFICATION

Scale	3/16" = 1'-0"
Project Coordinator	WENDY HUBBARD
Project No.	25-15C
Sheet	A-1.0

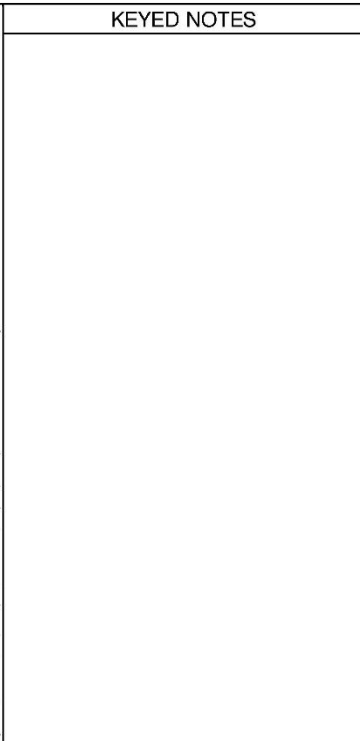
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## PROPOSED FLOOR PLAN

# Attachment "F" Office Building Plan



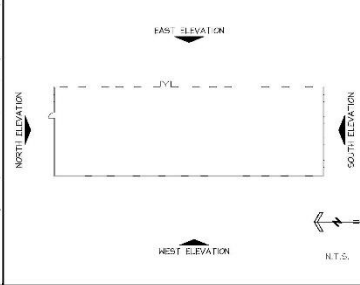
### KEYED NOTES



### COLOR / MATERIAL LEGEND

MATERIAL	FINISH	COLOR
CEMENT PLASTER (FIELD)	PAINTED	TRD
CEMENT PLASTER (FIELD)	PAINTED	TRD
CEMENT PLASTER (ACCENT)	PAINTED	TRD
CEMENT PLASTER (ACCENT)	PAINTED	TRD
CEMENT PLASTER (TRH)	PAINTED	TRD
GLAZING	FACTORY FINISH	TRD
STOREFRONT DOOR	FACTORY FINISH	TRD
ALUMINUM STOREFRONT SYSTEM	FACTORY FINISH	TRD
METAL CANOPY	PAINTED	TRD
STONE VENEER	FACTORY FINISH	TRD
WEEK BOARD PANEL	FACTORY FINISH	TRD
VERTICAL STANDING SEAM PANELS	FACTORY FINISH	TRD
METAL PANELS	FACTORY FINISH	TRD

### REFERENCE PLAN



**CENTERLINE DESIGN, LLC**  
PLANNING, DESIGN, CONSULTING  
1888 TOLLHOUSE ROAD, SUITE 100  
CLOVIS, CALIFORNIA 95311  
559-288-3000 (OFFICE)  
559-288-3267 (FAX)

**PROPOSED ENTITLEMENT FOR:  
AGROPLANTAE OFFICE BUILDING  
2976 SOUTH PEACH  
FRESNO, CA. 93725**

#### STATUS

Current Release Date	03-21-2024
Planning Submittal	---
Plan Check Submittal	---

#### REVISIONS

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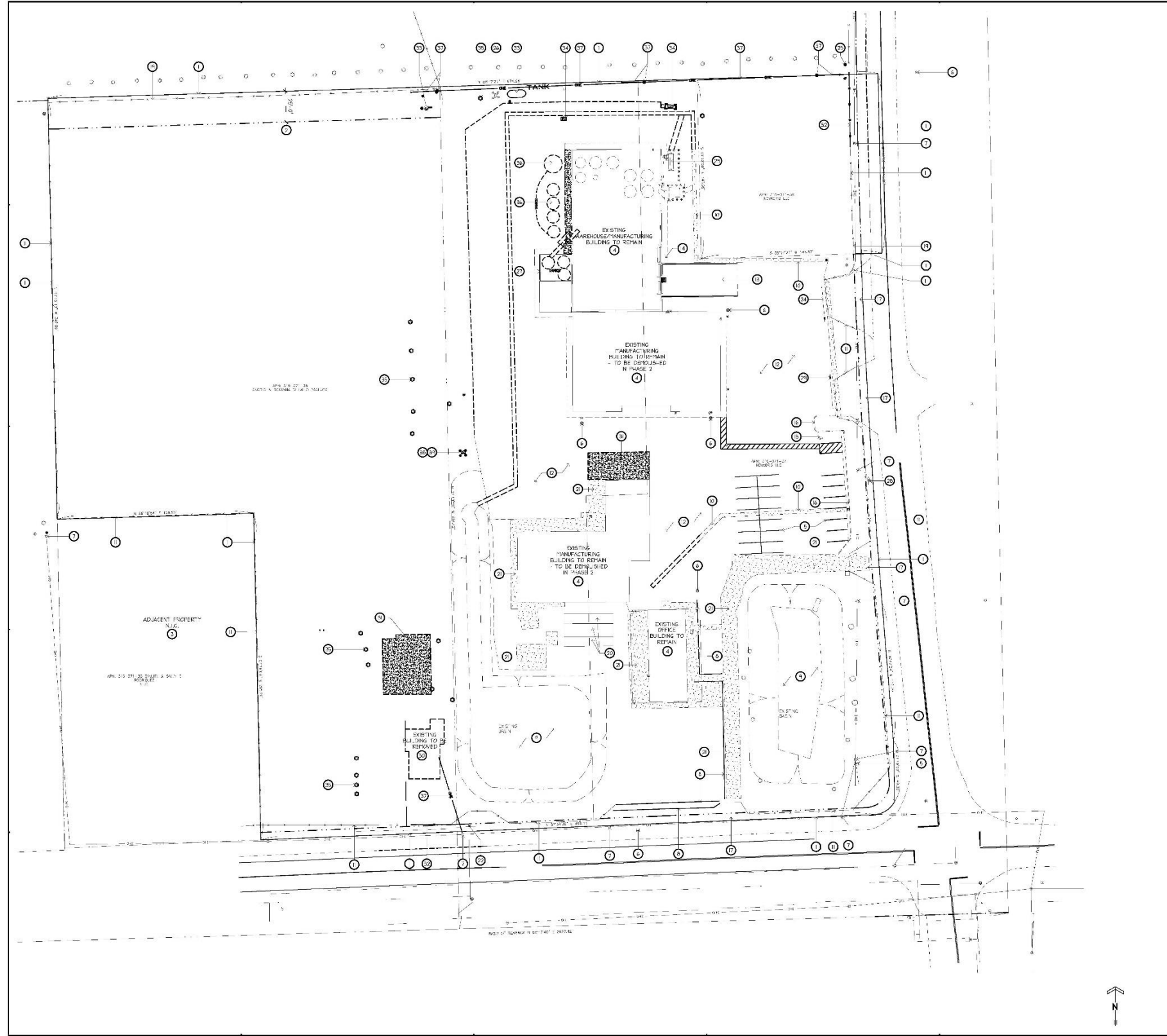
#### IDENTIFICATION

Scale	3/8" = 1' 0"
Project Coordinator	ROGER HURTADO
Project No.	23-51C
Sheet	A-3.0

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## PROPOSED EXTERIOR ELEVATIONS

# Attachment "G" Demolition Site Plan



### KEYED NOTES

1. LOCATION OF EXISTING PROPERTY LINE TO REMAIN, TYP.
2. LOCATION OF EXISTING 25' IRRIGATION EASEMENT TO REMAIN.
3. LOCATION OF EXISTING ADJACENT PARCEL - N.E.C.
4. LOCATION OF EXISTING BUILDING TO REMAIN.
5. LOCATION OF EXISTING UTILITY POLE TO REMAIN.
6. LOCATION OF EXISTING UNDERGROUND UTILITIES TO REMAIN.
7. LOCATION OF EXISTING 15KV POWER POLS/OVERHEAD LINES TO REMAIN.
8. LOCATION OF EXISTING BLOCK WALL TO REMAIN.
9. LOCATION OF EXISTING HATCH TO REMAIN.
10. LOCATION OF EXISTING VALLEY GUTTER TO REMAIN.
11. LOCATION OF EXISTING WROUGHT IRON FENCE TO REMAIN.
12. LOCATION OF EXISTING AC PAVING TO REMAIN.
13. LOCATION OF EXISTING TRUCK DOCK TO REMAIN.
14. LOCATION OF EXISTING AT GRADE LOADING AREA TO REMAIN.
15. LOCATION OF EXISTING PARKING STALLS TO REMAIN.
16. LOCATION OF EXISTING CONCRETE CURB TO REMAIN.
17. LOCATION OF EXISTING DRIVE APPROACH TO REMAIN.
18. LOCATION OF EXISTING ACCESSIBLE PARKING STALL TO REMAIN.
19. LOCATION OF EXISTING CHAIN LINK FENCE TO REMAIN.
20. LOCATION OF EXISTING SEA TRAIN TO REMAIN.
21. LOCATION OF EXISTING CONCRETE TO REMAIN.
22. LOCATION OF EXISTING BACK FLOW PREVENTOR TO REMAIN.
23. LOCATION OF EXISTING WATCHDOG TO REMAIN.
24. LOCATION OF EXISTING MANUAL SLIDE GATE TO REMAIN.
25. LOCATION OF EXISTING IRRIGATION PIPE TO REMAIN.
26. LOCATION OF EXISTING FIRE HYDRANT & PROTECTION DOLLARDS TO REMAIN.
27. LOCATION OF EXISTING CHU CONTAINMENT CURBS TO REMAIN.
28. LOCATION OF EXISTING MAILBOXES TO REMAIN.
29. LOCATION OF EXISTING ENTRANCE & EXIT AUTOMATIC SLIDING GATE TO REMAIN.
30. DASHED LINES INDICATE LOCATION OF EXISTING BUILDING TO BE REMOVED.
31. DASHED LINES INDICATE LOCATION OF EXISTING CONCRETE PAVING TO BE REMOVED.
32. LOCATION OF EXISTING CHAIN LINK FENCE / WROUGHT IRON FENCE TO BE REMOVED.
33. LOCATION OF EXISTING PROPANE TANK TO BE REMOVED.
34. LOCATION OF EXISTING UNDERGROUND UTILITIES TO BE REMOVED.
35. LOCATION OF EXISTING VEGETATION TO BE REMOVED.
36. DASHED LINES INDICATE LOCATION OF EXISTING STORAGE TANKS TO BE REMOVED AND RELOCATED.
37. LOCATION OF EXISTING POWER POLS/OVERHEAD LINES/GUY WIRE TO BE REMOVED.
38. LOCATION OF EXISTING FIRE HYDRANT TO BE REMOVED.
39. LOCATION OF EXISTING ROLLARD TO BE REMOVED.

### UTILITY LEGEND

- ELECTRIC BOX/PEDESTAL
- ELECTRIC MANHOLE
- ↓ GUY WIRE
- POWER POLE
- ★ AREA LIGHT
- ⊕ FIRE HYDRANT
- ⊕ FIRE DEPARTMENT CONNECTION
- ⊕ WATER METER
- ⊕ WATER VALVE
- BACK FLOW PREVENTOR
- DOMESTIC WELL
- ⊕ GAS METER
- ⊕ GAS VALVE
- UNDERGROUND GAS MARKER
- STAND PIPE
- STORM DRAIN GRATE
- OTHER MANHOLE
- CLEAN OUT
- UNKNOWN MANHOLE
- DOLLARD
- ⊕ TV PEDESTAL/BOX
- ⊕ MAILBOX
- TREE
- SIGN
- HOSE BIB
- UNDERGROUND WATER LINE
- UNDERGROUND GAS LINE
- UNDERGROUND SENER LINE
- OVERHEAD POWERLINE
- WALL LINE
- HAND RAIL LINE
- FENCE LINE
- BUILDING OVERHANG
- TOP/ TOE OF BANK
- CONCRETE
- ASPH



**PROJECT**  
 PROPOSED ENTITLEMENT FOR:  
 AGROPLANTAE MASTER SITE PLAN  
 2976 SOUTH PEACH  
 FRESNO, CA. 93725

STATUS	
Current Release Date	04-16-2024
Planning Submittal	---
Plan Check Submittal	---

REVISIONS	
△	
△	
△	
△	

IDENTIFICATION	
Scale	1:30
Project Coordinator	ROBERT HUBBARD
Project No.	23-01
Sheet	D-0.0

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## DEMOLITION SITE PLAN

Attachment "H"  
Photographs



Indoor storage of bagged raw materials stacked on pallets.



Outdoor storage of finished materials in 275-gallon totes with DOT label.



Outside storage tanks and totes. Tyvek containment in place beneath tanks.

Attachment "H"  
Photographs



Mixing tanks inside main building. The manufacturing process is entirely indoors.



Baghouse operation inside manufacturing facility. Dust and particles are captured with not outside release.



Attachment "H"  
Photographs



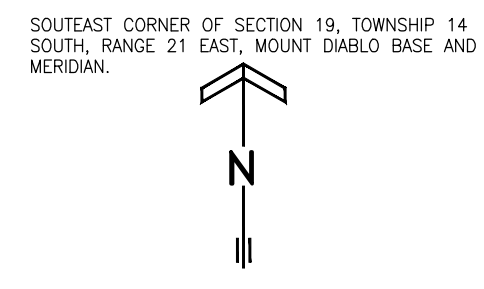
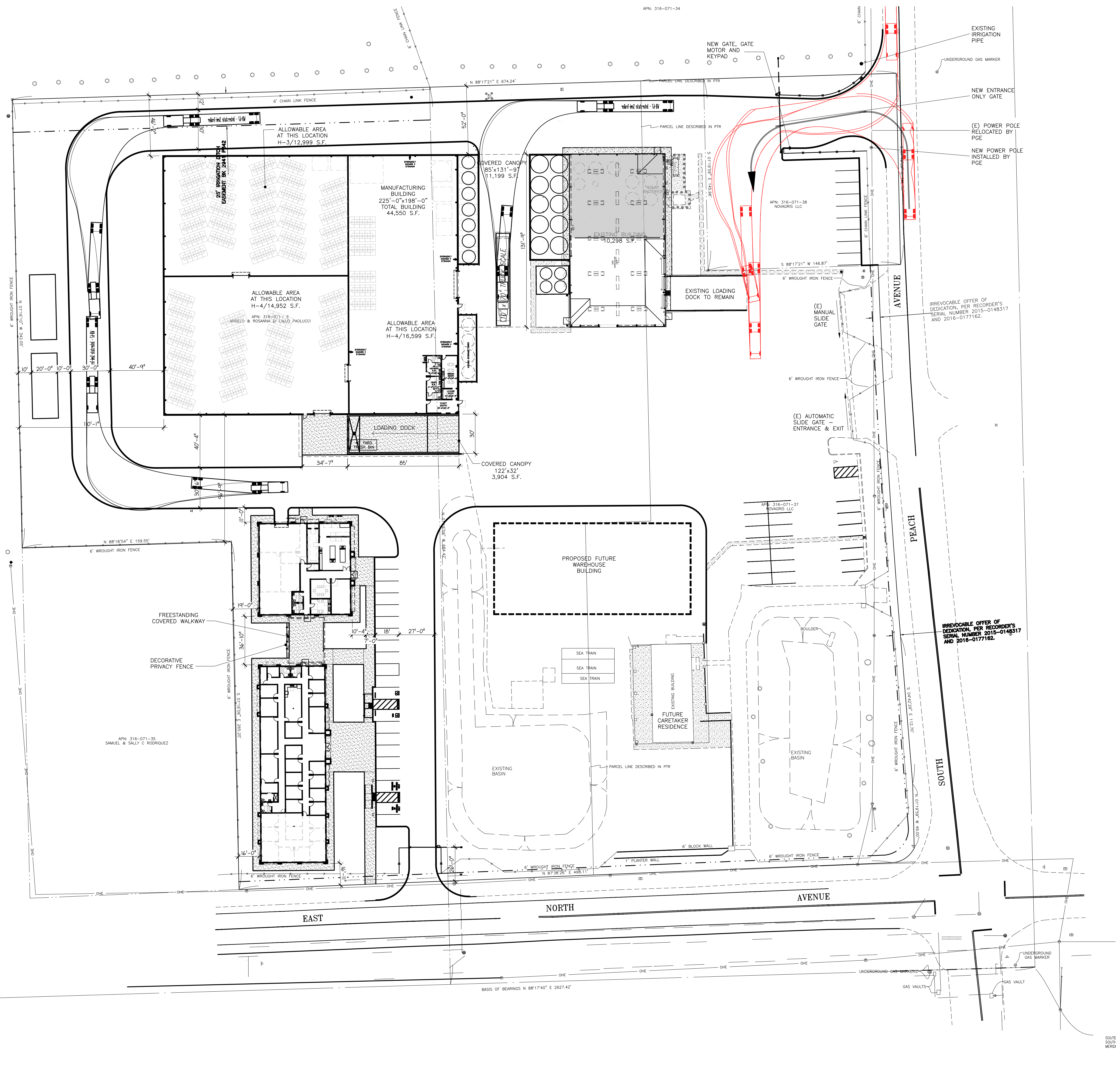
Outside filter system connected to indoor baghouse.



Water heater for generating hot water piped to indoor mixing tanks.



PLANNING - DESIGN - CONSULTING  
 1508 TOLLHOUSE ROAD, SUITE 'C'  
 CLOVIS, CALIFORNIA 93611  
 559-298-3060 (OFFICE)  
 559-298-3267 (FAX)



PROJECT  
**PROPOSED ENTITLEMENT FOR:  
 AGROPLANTAE MASTER SITE PLAN**  
 2976 SOUTH PEACH  
 FRESNO, CA. 93725

STATUS

Current Release Date	02-23-2024
Planning Submittal	--
Plan Check Submittal	--

REVISIONS

▲	
▲	
▲	
▲	
▲	

IDENTIFICATION

Scale	1:30
Project Coordinator	ROGER HURTADO
Project No.	23-151A
Sheet	

# PROPOSED SITE PLAN

**A-0.0**

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project:

**AGROPLANTAE**

**2976 SOUTH PEACH AVENUE  
FRESNO, CA  
93725**

client:

**REFERENCE NOTES SCHEDULE**

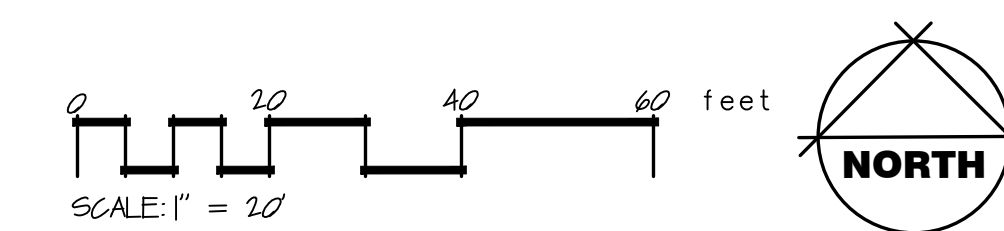
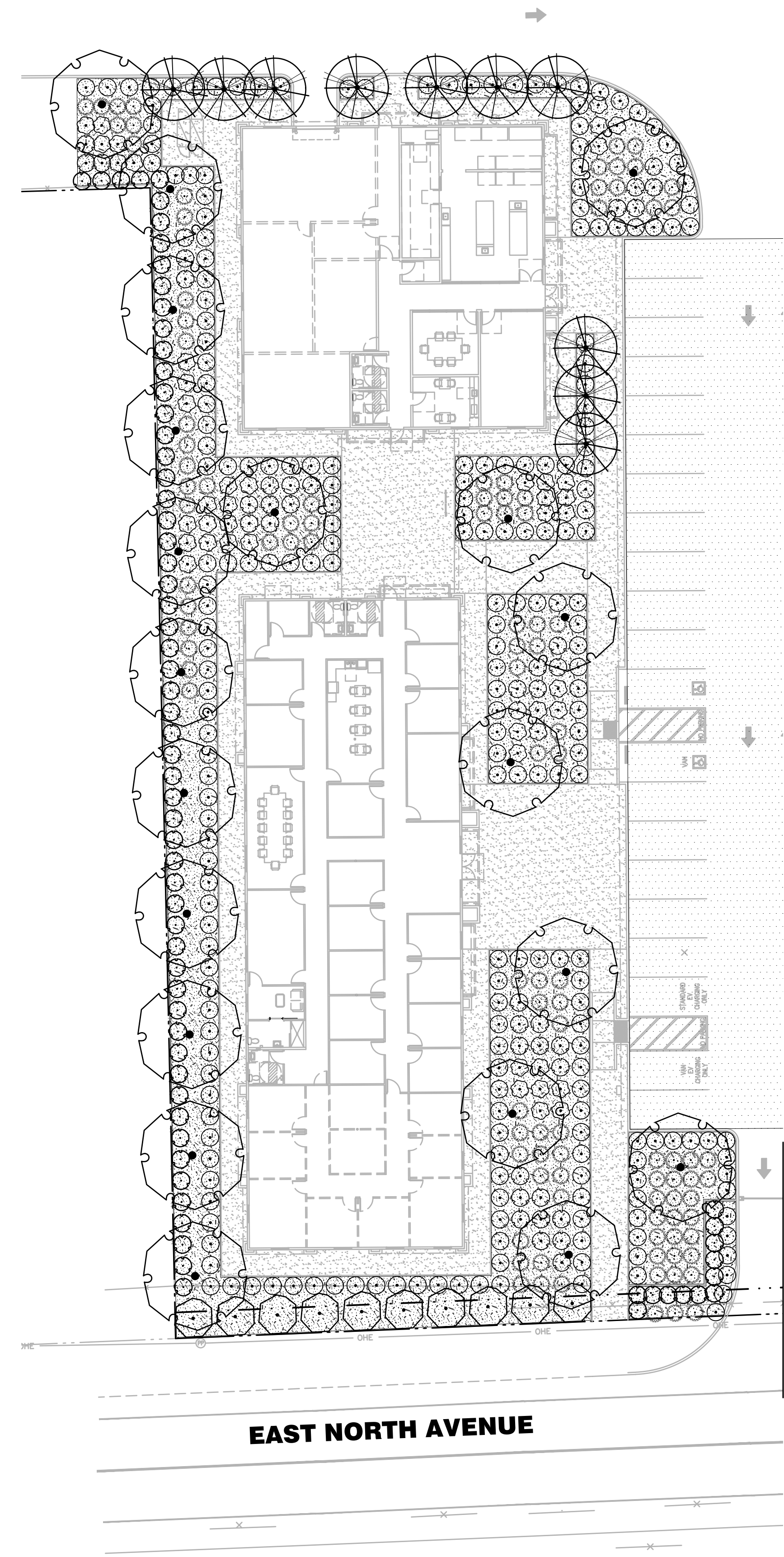
SYMBOL	PRELIMINARY DESIGN DESCRIPTION	QTY
	PARKING LOT AREA	8,200 SF
SYMBOL	MULCH DESCRIPTION	QTY
	ORGANIC RECYCLED MULCH-3" DEPTH	192.91 CY

**PLANT SCHEDULE**

SYMBOL	BOTANICAL / COMMON NAME	CONT	WATER USE	WIDTH	QTY
<b>TREES</b>					
	LAGERSTROEMIA INDICA 'ALBA' WHITE GRAPE MYRTLE	15 GAL	LOW	10 TO 15 DIA	10
	QUERCUS ILEX HOLLY OAK	15 GAL	LOW	25 TO 30 DIA	20
<b>EXISTING TREES</b>					
	CALLISTEMON VIMINALIS WEeping BOTTLEBRUSH	EXISTING	LOW	15 TO 20 DIA	2
	JUGLANS CALIFORNICA SOUTHERN CALIFORNIA BLACK WALNUT	EXISTING	LOW	25 TO 30 DIA	1
	PHOENIX DACTYLIFERA DATE PALM	EXISTING	LOW	10 TO 15 DIA	1
	PINUS PINEA ITALIAN STONE PINE	EXISTING	LOW	20 TO 25 DIA	1
	QUERCUS AGRIFOLIA COAST LIVE OAK MULTI-TRUNK	EXISTING	LOW	30 TO 35 DIA	1
SYMBOL	BOTANICAL / COMMON NAME	SIZE	WATER USE	WIDTH	QTY
<b>SHRUBS</b>					
	CISTUS X PURPUREUS ORCHID ROCKROSE	1 GAL	LOW	5 DIA	41
	LEUCOPHYLLUM FRUTESCENS 'COMPACTA' COMPACT TEXAS RANGER	5 GAL	LOW	5 DIA	125
	MUHLENBERGIA RIGENS DEER GRASS	1 GAL	LOW	5 DIA	110
	NERIUM OLEANDER 'WHITE' WHITE OLEANDER	5 GAL	LOW	10 DIA	95
	ROSMARINUS OFFICINALIS HUNTINGTON CARPET	1 GAL	LOW	5 DIA	251
	SALVIA LEUCANDRIA CLEVELAND SAGE	1 GAL	LOW	5 DIA	45
<b>EXISTING SHRUBS</b>					
	NERIUM OLEANDER 'WHITE' WHITE OLEANDER	EXISTING	LOW	10 DIA	4

**PARKING LOT SHADE CALCULATIONS**

SPECIES	MATURE CANOPY RADIUS (ft)	TOTAL CANOPY AREA (sf)	QUANTITY BY SHADE COVERAGE				TOTAL SHADE (SF)	
			25%	50%	75%	100%		
LAGERSTROEMIA INDICA	10	314.0	0	3	0	0	471.0	
QUERCUS ILEX	15	1017.4	0	7	0	0	3560.3	
							TREE AREA SHADE	4031.3
							CARPET AREA SHADE	0.0
							TOTAL AREA PARKING LOT	8200.0
							PERCENT SHADE	49.17%



des:ignlab 252  
P.O. Box 27616 Fresno, CA 93729  
Studio: 559.472.9966 Fax: 559.472.9969



drawn by: **KJ** checked by: **PB**

submittal: **No. 1** date: **05/23/2024**  
**No. 2** date: **06/06/2024**  
**No. 3** date: **XX/XX/XXXX**  
**No. 4** date: **XX/XX/XXXX**

scale: 1"=20'-0"

sheet title:

**LANDSCAPE SITE PLAN**

sheet no.

**LSP-1**

project no. 24-03-005

project:

# AGROPLANTAE

2976 SOUTH PEACH AVENUE  
FRESNO, CA  
93725

client:

designlab 252

P.O. Box 27616 Fresno, CA 93729  
Studio: 559.472.9966 Fax: 559.472.9969



drawn by: **KJ** checked by: **PB**

submittal:	date:
No. 1	05/23/2024
No. 2	06/06/2024
No. 3	XX/XX/XXXX
No. 4	XX/XX/XXXX

scale: 1"=20'-0"

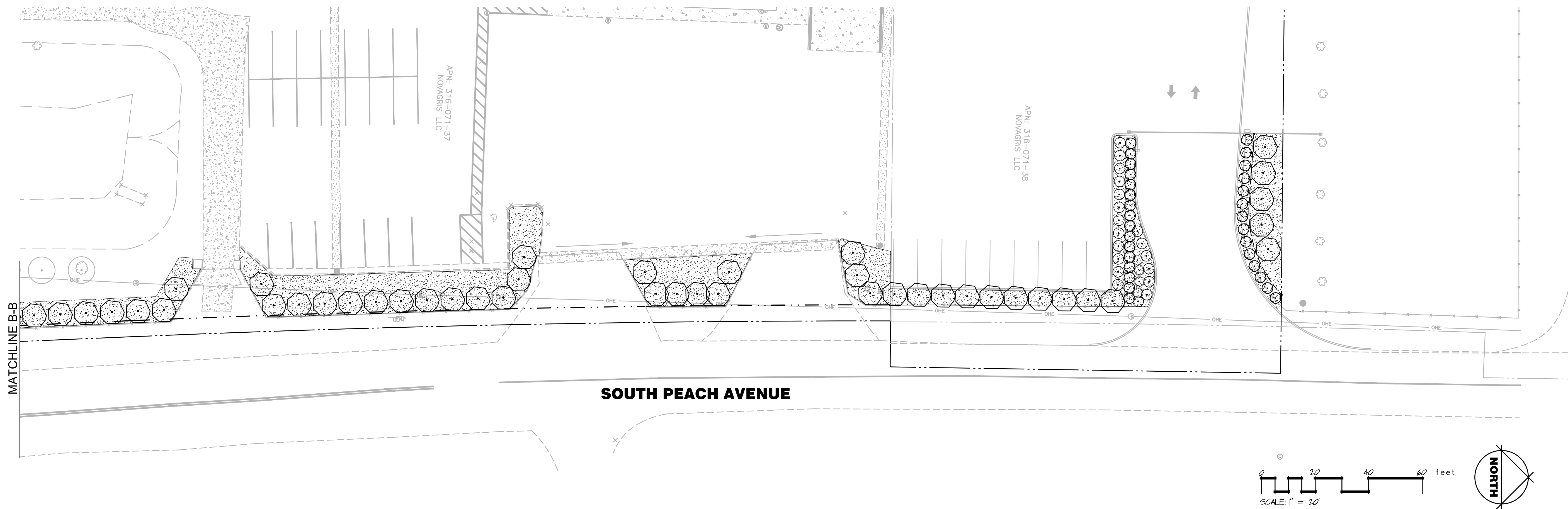
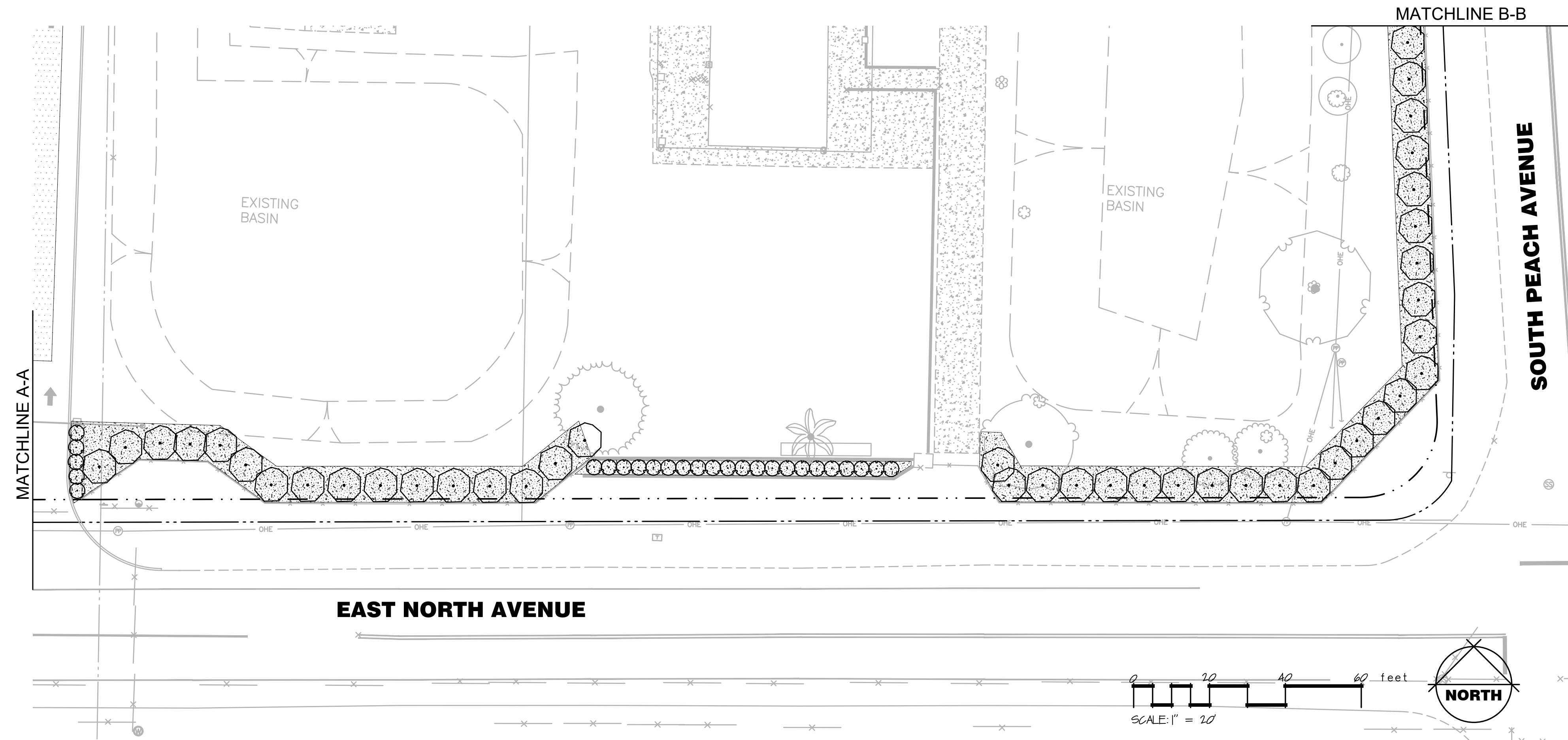
sheet title:

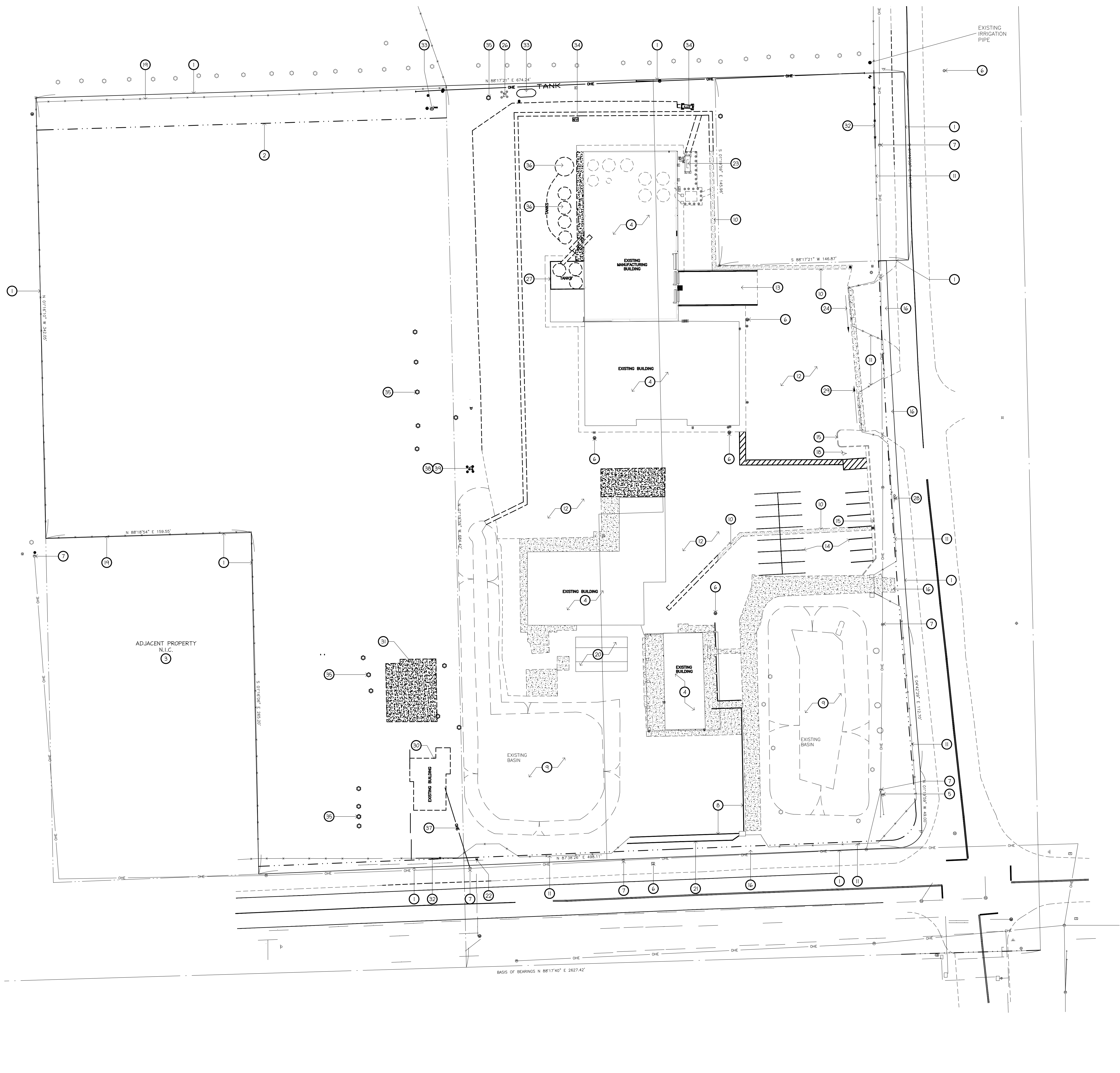
# LANDSCAPE SITE PLAN

sheet no.

# LSP-2

project no. 24-03-005





- ### KEYED NOTES
- 1 LOCATION OF EXISTING PROPERTY LINE TO REMAIN, TYP.
  - 2 LOCATION OF EXISTING 25' IRRIGATION EASEMENT TO REMAIN.
  - 3 LOCATION OF EXISTING ADJACENT PARCEL - N.I.C.
  - 4 LOCATION OF EXISTING BUILDING TO REMAIN.
  - 5 LOCATION OF EXISTING UTILITY POLE TO REMAIN.
  - 6 LOCATION OF EXISTING UNDERGROUND UTILITIES TO REMAIN.
  - 7 LOCATION OF EXISTING PG&E POWER POLES/OVERHEAD LINES TO REMAIN.
  - 8 LOCATION OF EXISTING BLOCK WALL TO REMAIN.
  - 9 LOCATION OF EXISTING BASIN TO REMAIN.
  - 10 LOCATION OF EXISTING VALLEY GUTTER TO REMAIN.
  - 11 LOCATION OF EXISTING WROUGHT IRON FENCE TO REMAIN.
  - 12 LOCATION OF EXISTING AC PAVING TO REMAIN.
  - 13 LOCATION OF EXISTING TRUCK DOCK TO REMAIN.
  - 14 LOCATION OF EXISTING AT GRADE LOADING AREA TO REMAIN.
  - 15 LOCATION OF EXISTING PARKING STALLS TO REMAIN.
  - 16 LOCATION OF EXISTING CONCRETE CURB TO REMAIN.
  - 17 LOCATION OF EXISTING DRIVE APPROACH TO REMAIN.
  - 18 LOCATION OF EXISTING ACCESSIBLE PARKING STALL TO REMAIN.
  - 19 LOCATION OF EXISTING CHAIN LINK FENCE TO REMAIN.
  - 20 LOCATION OF EXISTING SEA TRAIN TO REMAIN.
  - 21 LOCATION OF EXISTING PLANTER WALL TO REMAIN.
  - 22 LOCATION OF EXISTING BACK FLOW PREVENTOR TO REMAIN.
  - 23 LOCATION OF EXISTING SWITCHGEAR TO REMAIN.
  - 24 LOCATION OF EXISTING MANUAL SLIDE GATE TO REMAIN.
  - 25 LOCATION OF EXISTING IRRIGATION PIPE TO REMAIN.
  - 26 LOCATION OF EXISTING FIRE HYDRANT & PROTECTION BOLLARDS TO REMAIN.
  - 27 LOCATION OF EXISTING CMU CONTAINMENT CURBS TO REMAIN.
  - 28 LOCATION OF EXISTING MAILBOXES TO REMAIN.
  - 29 LOCATION OF EXISTING ENTRANCE & EXIT AUTOMATIC SLIDING GATE TO REMAIN.
  - 30 DASHED LINES INDICATE LOCATION OF EXISTING BUILDING TO BE REMOVED.
  - 31 DASHED LINES INDICATE LOCATION OF EXISTING CONCRETE PAVING TO BE REMOVED.
  - 32 LOCATION OF EXISTING CHAINLINK FENCE TO BE REMOVED.
  - 33 LOCATION OF EXISTING PROPANE TANK TO BE REMOVED.
  - 34 LOCATION OF EXISTING UNDERGROUND UTILITIES TO BE REMOVED.
  - 35 LOCATION OF EXISTING VEGETATION TO BE REMOVED.
  - 36 DASHED LINES INDICATE LOCATION OF EXISTING STORAGE TANKS TO BE REMOVED AND RELOCATED.
  - 37 LOCATION OF EXISTING OVERHEAD LINES TO BE REMOVED.
  - 38 LOCATION OF EXISTING FIRE HYDRANT TO BE REMOVED.
  - 39 LOCATION OF EXISTING BOLLARD TO BE REMOVED.

### UTILITY LEGEND

	ELECTRIC BOX/PEDESTAL
	ELECTRIC MANHOLE
	GUY WIRE
	POWER POLE
	AREA LIGHT
	FIRE HYDRANT
	FIRE DEPARTMENT CONNECTION
	WATER METER
	WATER VALVE
	BACK FLOW PREVENTOR
	DOMESTIC WELL
	GAS METER
	GAS VALVE
	UNDERGROUND GAS MARKER
	STAND PIPE
	STORM DRAIN GRATE
	SEWER MANHOLE
	CLEAN OUT
	UNKNOWN MANHOLE
	BOLLARD
	TV PEDESTAL/BOX
	MAILBOX
	TREE
	SIGN
	HOSE BIB
	UNDERGROUND WATER LINE
	UNDERGROUND GAS LINE
	UNDERGROUND SEWER LINE
	OVERHEAD POWERLINE
	WALL LINE
	HAND RAIL LINE
	FENCE LINE
	BUILDING OVERHANG
	TOP/ TOE OF BANK
	CONCRETE
	TANK

**CENTERLINE  
DESIGN, LLC**

PLANNING - DESIGN - CONSULTING  
1508 TOLLHOUSE ROAD, SUITE 'C'  
CLOVIS, CALIFORNIA 93811  
559-298-3960 (OFFICE)  
559-298-3267 (FAX)

PROJECT

PROPOSED ENTITLEMENT FOR:  
AGROPLANTAE MASTER SITE PLAN  
2976 SOUTH PEACH  
FRESNO, CA. 93725

### STATUS

Current Release Date
03-14-2024
Planning Submittal
--
Plan Check Submittal
--

### REVISIONS

▲	
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### IDENTIFICATION

Scale	1:30
Project Coordinator	ROGER HURTADO
Project No.	23-151
Sheet	D-0.0

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# DEMOLITION SITE PLAN



**CENTERLINE  
DESIGN, LLC**

PLANNING - DESIGN - CONSULTING  
1508 TOLLHOUSE ROAD, SUITE 'C'  
CLOVIS, CALIFORNIA 93611  
559-298-3960 (OFFICE)  
559-298-3267 (FAX)

### PROJECT DATA

**OWNER INFORMATION:**  
OWNER: ANGELO PAOLUCCI  
ADDRESS: 1865 HERNDON AVENUE, SUITE K321  
CLOVIS, CA. 93611

**SITE DATA:**  
ADDRESS: 2976 SOUTH PEACH AVENUE  
FRESNO, CA. 93725  
ACCESSOR PARCEL NUMBER: 316-071-36  
EXISTING ZONING: AL-20  
PROPOSED ZONING: M3 (HEAVY INDUSTRIAL)

ACCESSOR PARCEL NUMBER: 316-071-37  
EXISTING ZONING: M3 (HEAVY INDUSTRIAL) TO REMAIN

ACCESSOR PARCEL NUMBER: 316-071-38  
EXISTING ZONING: AL-20  
PROPOSED ZONING: M3 (HEAVY INDUSTRIAL)

**BUILDING DATA:**  
OCCUPANCY TYPE: GROUP "B" (OFFICE)  
TYPE OF CONSTRUCTION: TYPE VB  
NUMBER OF STORIES: ONE STORY  
ALLOWABLE BUILDING HEIGHT: 75 FEET MAX.  
ACTUAL BUILDING HEIGHT: T.B.D.  
FIRE SPRINKLERED: YES (NFPA 13)  
FIRE ALARM: YES  
FIRE SEPARATION WALL: NO

**BUILDING AREA CALCULATION:**  
BUILDING AREA AS DEFINED BY THE CALIFORNIA BUILDING CODE, SECTION 506 TABLE 506.2.  
ALLOWABLE AREA: 36,000 SQ. FT.  
PROPOSED BUILDING AREA: 4,900 SQ. FT.  
GROSS BUILDING AREA: 36,000 SQ.FT. > 4,900 = OK

**OCCUPANT LOAD DATA:**  
AREAS:  
OFFICE: 3,533 SQ. FT. / 150 (OFFICE) = 24  
TOTAL OCCUPANTS: 24 OCCUPANTS  
1 EXIT REQUIRED  
3 EXITS PROVIDED

**PARKING DATA:**  
PARKING REQUIRED PER SECTION 843.5 COUNTY OF FRESNO ZONING CODE:  
= 1 SPACE PER 2 PERMANENT EMPLOYEES.  
MAXIMUM ANTICIPATED NUMBER OF EMPLOYEES IS 20 = 10 SPACES REQUIRED

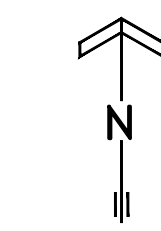
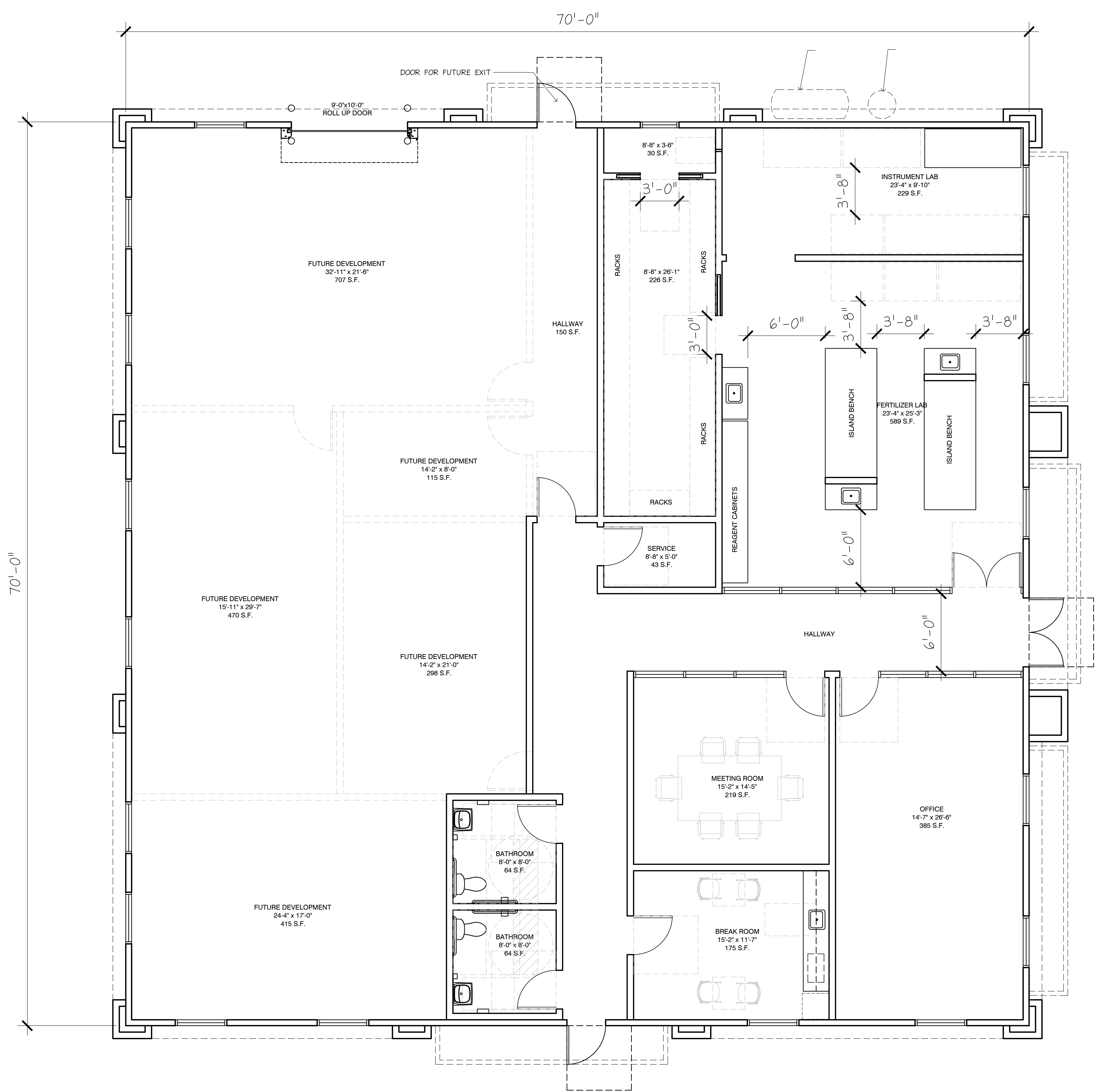
### OCCUPANT PLUMBING MATRIX

ROOM AREAS:	AREA (S.F.):	OCCUPANT LOAD FACTOR #:	OCCUPANTS:
OFFICE	3,533	150	24
OCCUPANT LOAD DIVIDED IN HALF (50% MALE AND 50% FEMALE):			12 - M 12 - F

### PLUMBING FIXTURES REQUIRED

MINIMUM PLUMBING FACILITIES CHART BELOW IS BASED UPON THE B CLASSIFICATION WITHIN TABLE 422.1 OF THE 2022 C.P.C.

OCCUPANCY	FIXTURES REQUIRED:	WATER CLOSETS	LAVATORIES	URINALS
B	FIXTURES REQUIRED - FOR MEN	1	1	1
	FIXTURES REQUIRED - FOR WOMEN	1	1	0
	FIXTURES PROVIDED - BATHROOM #1	1	1	1
	FIXTURES PROVIDED - BATHROOM #2	1	1	0



## PROPOSED FLOOR PLAN

**PROJECT**  
PROPOSED ENTITLEMENT FOR:  
AGROPLANTAE LAB BUILDING  
2976 SOUTH PEACH  
FRESNO, CA. 93725

**STATUS**

Current Release Date
02-23-2024
Planning Submittal
--
Plan Check Submittal
--

**REVISIONS**

▲	
▲	
▲	
▲	
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**IDENTIFICATION**

Scale
1/4" = 1'-0"
Project Coordinator
ROGER HURTADO
Project No.
23-151B
Sheet

# A-1.0

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**CENTERLINE  
DESIGN, LLC**

PLANNING - DESIGN - CONSULTING  
1508 TOLLHOUSE ROAD, SUITE 'C'  
CLOVIS, CALIFORNIA 93611  
559-298-3060 (OFFICE)  
559-298-3267 (FAX)

**KEYED NOTES**

- +21'-0" T.O. PARAPET
- +19'-0" T.O. PARAPET
- +14'-0" B.O. SOFFIT
- +12'-0" B.O. SOFFIT
- +11'-0" T.O. CANOPY
- +10'-0" T.O. DOOR
- +9'-0" T.O. GLAZING
- +3'-0" B.O. SILL
- +0'-0" T.O. SLAB

**NORTH ELEVATION**

**EAST ELEVATION**

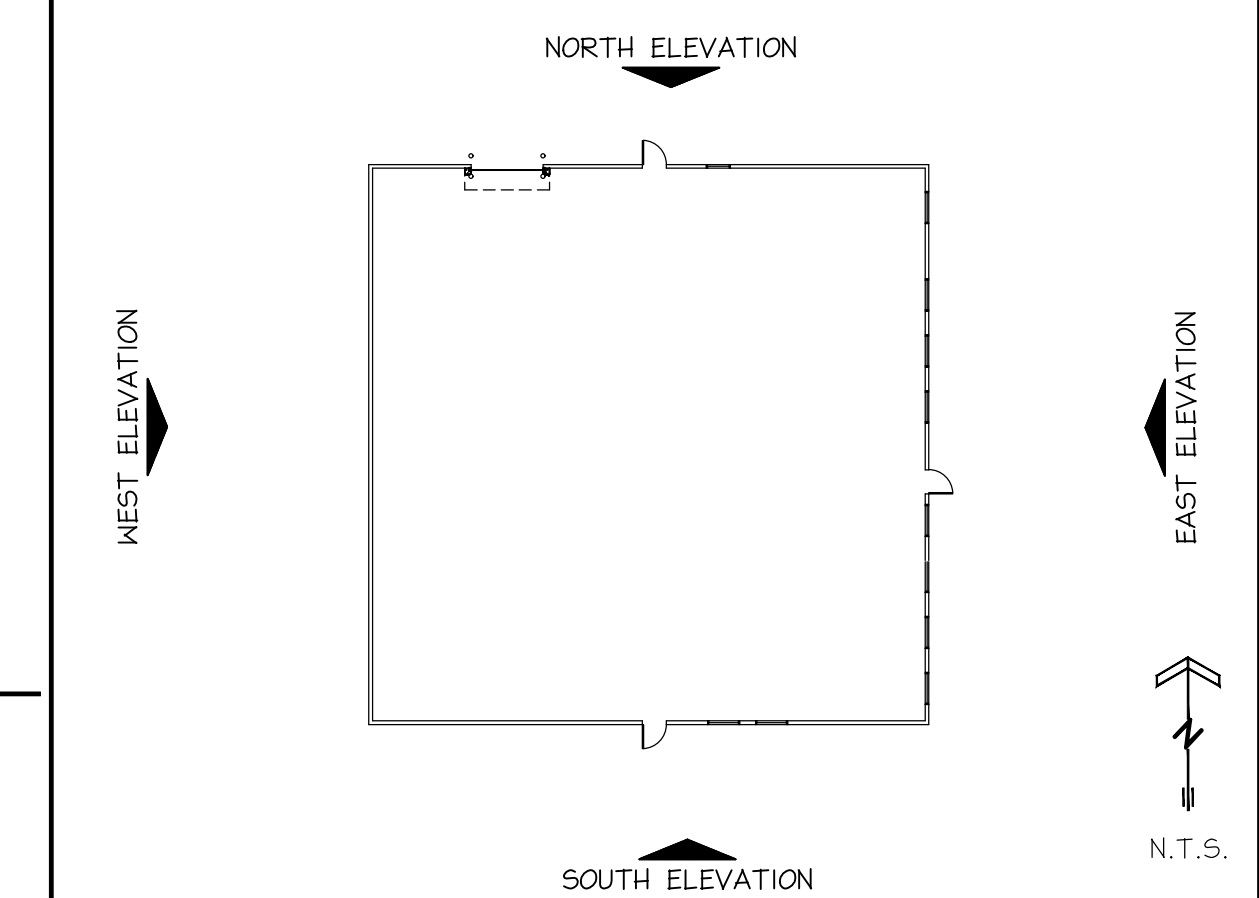
**SOUTH ELEVATION**

**WEST ELEVATION**

**COLOR / MATERIAL LEGEND**

MATERIAL	FINISH	COLOR
A CEMENT PLASTER (FIELD)	PAINTED	DUNN EDWARDS TBD
B CEMENT PLASTER (FIELD)	PAINTED	DUNN EDWARDS TBD
C CEMENT PLASTER (ACCENT)	PAINTED	DUNN EDWARDS TBD
D CEMENT PLASTER (ACCENT)	PAINTED	DUNN EDWARDS TBD
E CEMENT PLASTER (TRIM)	PAINTED	DUNN EDWARDS TBD
F GLAZING	FACTORY FINISH	REFLECTIVE/TINTED INSULATED GLASS - 1" GLAZING (1/4" SOLAR BRONZE, 1/2" AIR SPACE, 1/4" SUNGUARD SN68) - REFER TO T-24 FOR FENESTRATION VALUE REQUIREMENTS.
G STOREFRONT DOOR	FACTORY FINISH	STOREFRONT SYSTEM AT ALL WINDOWS TO BE: 2" x 4 1/2" CENTER GLAZED STOREFRONT SYSTEM (ANODIZED CLEAR MILL FINISH)
H ALUMINUM STOREFRONT SYSTEM	FACTORY FINISH	STOREFRONT SYSTEM AT ALL WINDOWS TO BE: 2" x 4 1/2" CENTER GLAZED STOREFRONT SYSTEM (ANODIZED CLEAR MILL FINISH)
I METAL CANOPY	PAINTED	DIUNN EDWARDS TBD
J STONE VENEER	FACTORY FINISH	ELDORADO STONE TBD
K FIBER BOARD PANEL	FACTORY FINISH	FIBERON WILDWOOD TBD
L VERTICAL STANDING SEAM PANELS	FACTORY FINISH	AEP SPAN TBD
M METAL PANEL	FACTORY FINISH	PAC-CLAD TBD
N ROLL-UP DOOR	FACTORY FINISH	TBD
O PRIVACY SCREEN	PAINTED / FACTORY FINISH	TBD
P COVERED WALK-WAY	PAINTED	DIUNN EDWARDS TBD

**REFERENCE PLAN**



**PROJECT**  
PROPOSED ENTITLEMENT FOR:  
AGROPLANTAE LAB BUILDING  
2976 SOUTH PEACH  
FRESNO, CA. 93725

**STATUS**

Current Release Date	02-23-2024
Planning Submittal	---
Plan Check Submittal	---

**REVISIONS**

▲	
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▲	

**IDENTIFICATION**

Scale	3/16" = 1'-0"
Project Coordinator	ROGER HURTADO
Project No.	23-151B
Sheet	A-3.0

**PROPOSED EXTERIOR ELEVATIONS**

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**CENTERLINE  
DESIGN, LLC**

PLANNING - DESIGN - CONSULTING  
1508 TOLLHOUSE ROAD, SUITE 'C'  
CLOVIS, CALIFORNIA 93811  
559-298-3960 (OFFICE)  
559-298-3267 (FAX)

### PROJECT DATA

**OWNER INFORMATION:**  
OWNER: ANGELO PAOLUCCI  
ADDRESS: 1865 HERNDON AVENUE, SUITE K321  
CLOVIS, CA. 93611

**SITE DATA:**  
ADDRESS: 2976 SOUTH PEACH AVENUE  
FRESNO, CA. 93725  
ACCESSOR PARCEL NUMBER: 316-071-36  
EXISTING ZONING: AL-20  
PROPOSED ZONING: M3 (HEAVY INDUSTRIAL)

ACCESSOR PARCEL NUMBER: 316-071-37  
EXISTING ZONING: M3 (HEAVY INDUSTRIAL) TO REMAIN

ACCESSOR PARCEL NUMBER: 316-071-38  
EXISTING ZONING: AL-20  
PROPOSED ZONING: M3 (HEAVY INDUSTRIAL)

**BUILDING DATA:**  
OCCUPANCY TYPE: MIXED - SEPARATED  
GROUP "H-4" (HIGH HAZARD)  
GROUP "H-3" (CONTROL AREA)  
GROUP "F" (FACTORY)

TYPE OF CONSTRUCTION: TYPE III

NUMBER OF STORIES: ONE STORY  
ALLOWABLE BUILDING HEIGHT: 75 FEET MAX.  
ACTUAL BUILDING HEIGHT: T.B.D.  
FIRE SPRINKLERED: YES (NFPA 13)  
FIRE ALARM: YES  
FIRE SEPARATION WALL: YES

**BUILDING AREA CALCULATION:**  
BUILDING AREA AS DEFINED BY THE CALIFORNIA BUILDING CODE, SECTION 506 TABLE 506.2.

ALLOWABLE AREA: 70,000 SQ. FT.

**EXISTING BUILDING AREA**  
H-4 OCCUPANCY FLOOR AREA: 10,298 SQ. FT.

**PROPOSED BUILDING AREA**  
H-3 OCCUPANCY FLOOR AREA: 12,999 SQ. FT.  
H-4 OCCUPANCY FLOOR AREA: 31,551 SQ. FT.  
F OCCUPANCY CANOPY AREA: 15,103 SQ. FT.  
TOTAL GROSS BUILDING AREA OF NEW: 59,653 SQ. FT.  
TOTAL GROSS BUILDING AREA OF EXISTING & NEW: 69,951 SQ. FT.

**PROPOSED BUILDING AREA**  
GROSS BUILDING AREA: 69,951 SQ. FT.  
70,000 SQ.FT. > 69,951 = OK

**OCCUPANT LOAD DATA:**  
AREAS:  
WAREHOUSE: 27,951 SQ. FT. / 500 (WAREHOUSE) = 56  
MANUFACTURING: 16,307 SQ. FT. / 200 (MANUFACTURING) = 82

TOTAL OCCUPANTS: 138 OCCUPANTS  
2 EXIT REQUIRED  
2 EXITS PROVIDED

**PARKING DATA:**  
PARKING REQUIRED PER SECTION 843.5 COUNTY OF FRESNO ZONING CODE:  
= 1 SPACE PER 2 PERMANENT EMPLOYEES.  
MAXIMUM ANTICIPATED NUMBER OF EMPLOYEES IS 20 = 10 SPACES REQUIRED

### OCCUPANT PLUMBING MATRIX

ROOM AREAS:	AREA (S.F.):	OCCUPANT LOAD FACTOR #:	OCCUPANTS:
WAREHOUSE	27,951	4,000	7
PROCESSING	26,897	500	54
OCCUPANT LOAD DIVIDED IN HALF (50% MALE AND 50% FEMALE):			31 - M 31 - F

### PLUMBING FIXTURES REQUIRED

MINIMUM PLUMBING FACILITIES CHART BELOW IS BASED UPON THE F1, F2 CLASSIFICATION WITHIN TABLE 422.1 OF THE 2022 C.P.C.

OCCUPANCY	FIXTURES REQUIRED:	FACILITIES			
		WATER CLOSETS	LAVATORIES	URINALS	EMERGENCY SHOWERS
F1, F2	FIXTURES REQUIRED - FOR MEN	2	2	0	0
	FIXTURES REQUIRED - FOR WOMEN	2	2	0	0
	FIXTURES REQUIRED - EMERGENCY SHOWERS	-	-	-	4
F1, F2	FIXTURES PROVIDED:				
	FIXTURES PROVIDED - MEN'S RESTROOM	2	2	1	0
	FIXTURES PROVIDED - WOMEN'S RESTROOM	2	2	0	0
	FIXTURES PROVIDED - EMERGENCY SHOWERS	-	-	-	4



**PROPOSED ENTITLEMENT FOR:**  
**AGROPLANTAE MANUFACTURING BUILDING**  
 2976 SOUTH PEACH  
 FRESNO, CA. 93725

### STATUS

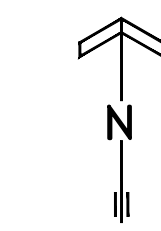
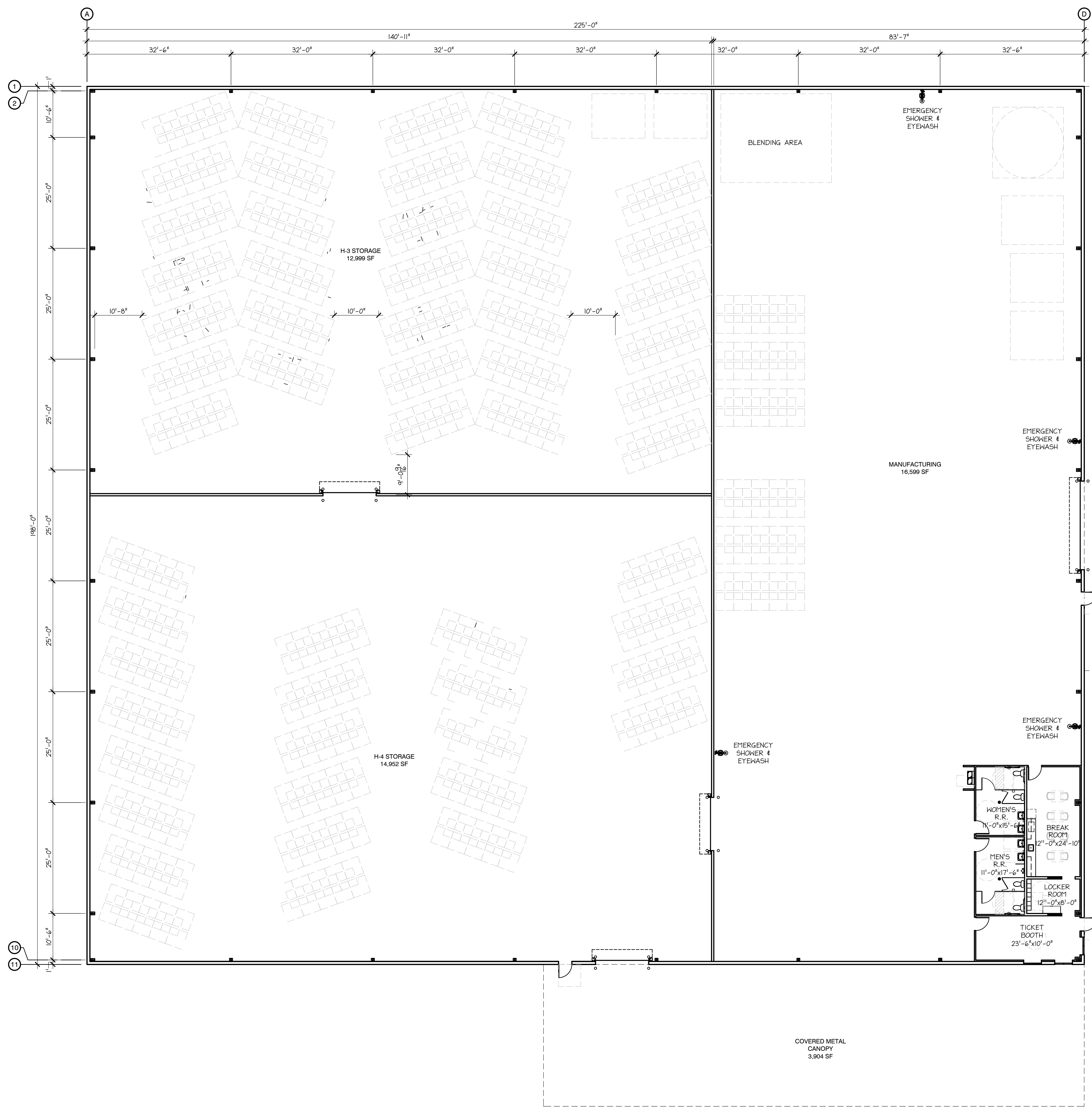
Current Release Date	02-15-2024
Planning Submittal	--
Plan Check Submittal	--

### REVISIONS

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### IDENTIFICATION

Scale	3/32" = 1'-0"
Project Coordinator	ROGER HURTADO
Project No.	23-151A
Sheet	A-1.0



# PROPOSED FLOOR PLAN

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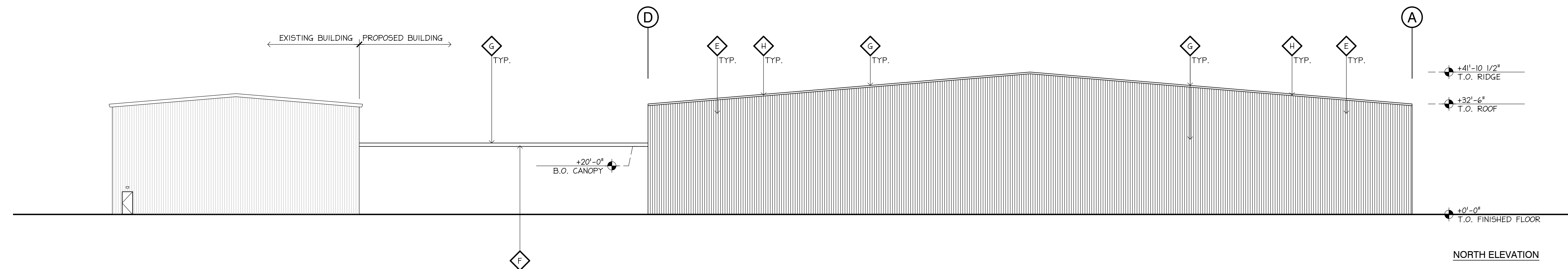




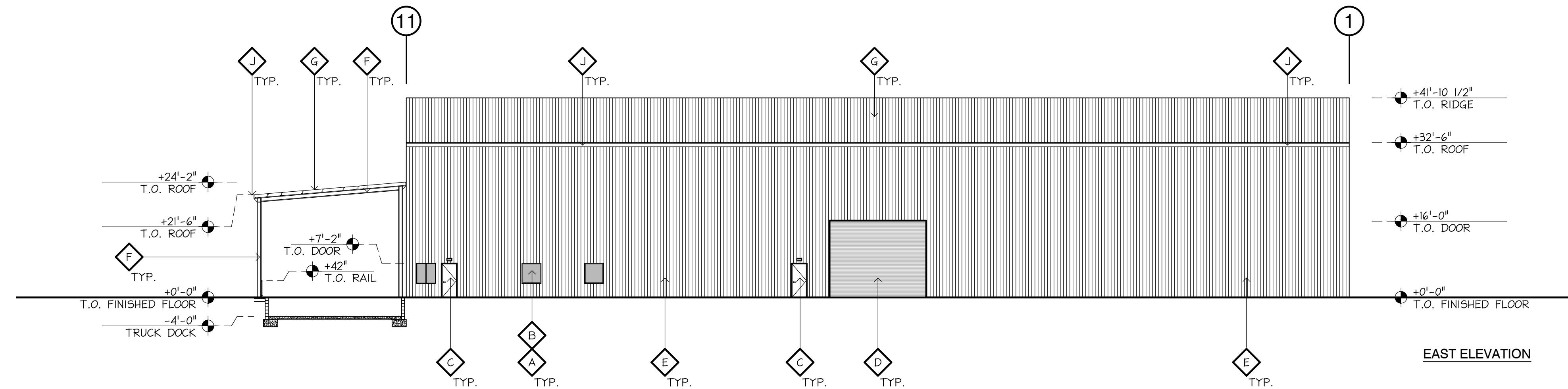
**CENTERLINE  
DESIGN, LLC**

PLANNING - DESIGN - CONSULTING  
1506 TOLLHOUSE ROAD, SUITE C  
CLOVIS, CALIFORNIA 93611  
559-296-3060 (OFFICE)  
559-298-3257 (FAX)

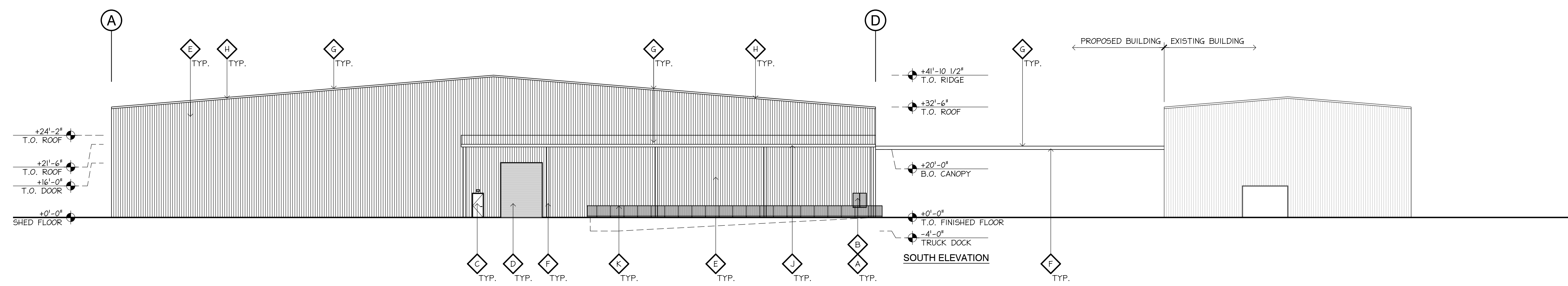
**KEYED NOTES**



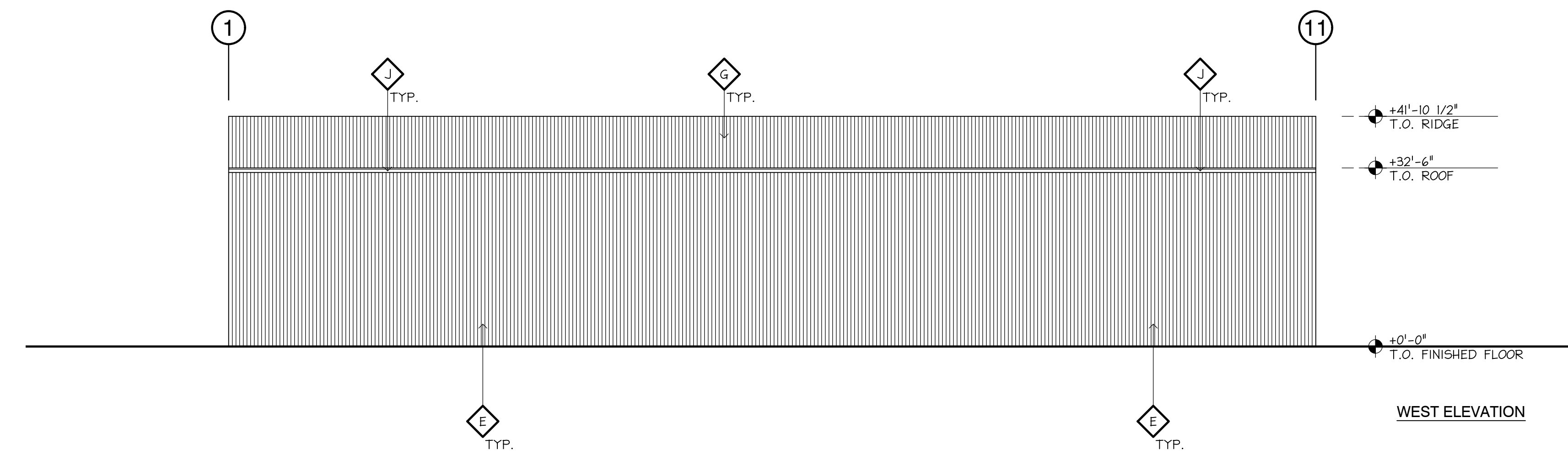
**NORTH ELEVATION**



**EAST ELEVATION**



**SOUTH ELEVATION**



**WEST ELEVATION**

**COLOR / MATERIAL LEGEND**

MATERIAL	FINISH	COLOR	
A	GLAZING	FACTORY FINISH	REFLECTIVE/TINTED INSULATED GLASS - 1" GLAZING (1/4" SOLAR BRONZE, 1/2" AIR SPACE, 1/4" SUNGUARD SNG) - REFER TO T-24 FOR PENETRATION VALUE REQUIREMENTS.
B	ALUMINUM STOREFRONT SYSTEM	FACTORY FINISH	STOREFRONT SYSTEM AT ALL WINDOWS TO BE: 2" x 4 1/2" CENTER GLAZED STOREFRONT SYSTEM (ANODIZED CLEAR MILL FINISH)
C	HOLLOW METAL DOOR AND FRAME	PAINTED	DUNN EDWARDS TBD
D	ROLL-UP DOOR	FACTORY FINISH	TBD
E	METAL PANELS	FACTORY FINISH	TBD
F	METAL CANOPY SUPPORTS	PAINTED	DUNN EDWARDS TBD
G	STANDING SEAM ROOF PANELS	FACTORY FINISH	TBD
H	METAL FASCIA	FACTORY FINISH	TBD
J	GUTTERS & DOWNSPOUTS	FACTORY FINISH	TBD
K	METAL RAILING	PAINTED	DUNN EDWARDS TBD

PROJECT  
**PROPOSED ENTITLEMENT FOR:  
AGROPLANTAE MANUFACTURING BUILDING  
2976 SOUTH PEACH  
FRESNO, CA. 93725**

**STATUS**

<b>Current Release Date</b>	02-15-2024
<b>Planning Submittal</b>	--
<b>Plan Check Submittal</b>	--

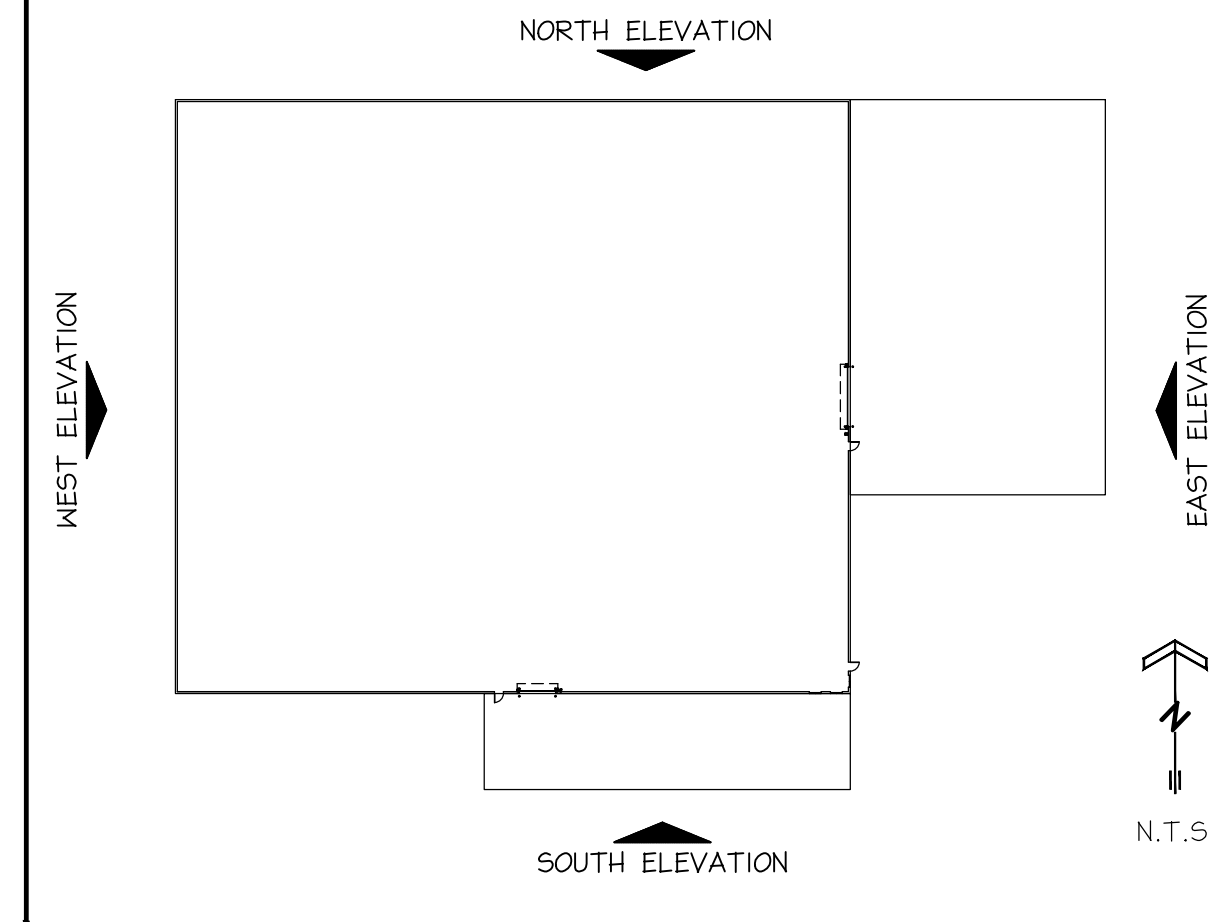
**REVISIONS**

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**IDENTIFICATION**

<b>Scale</b>	1/16" = 1'-0"
<b>Project Coordinator</b>	ROGER HURTADO
<b>Project No.</b>	23-151A
<b>Sheet</b>	23-151A

**REFERENCE PLAN**



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**PROPOSED EXTERIOR ELEVATIONS**

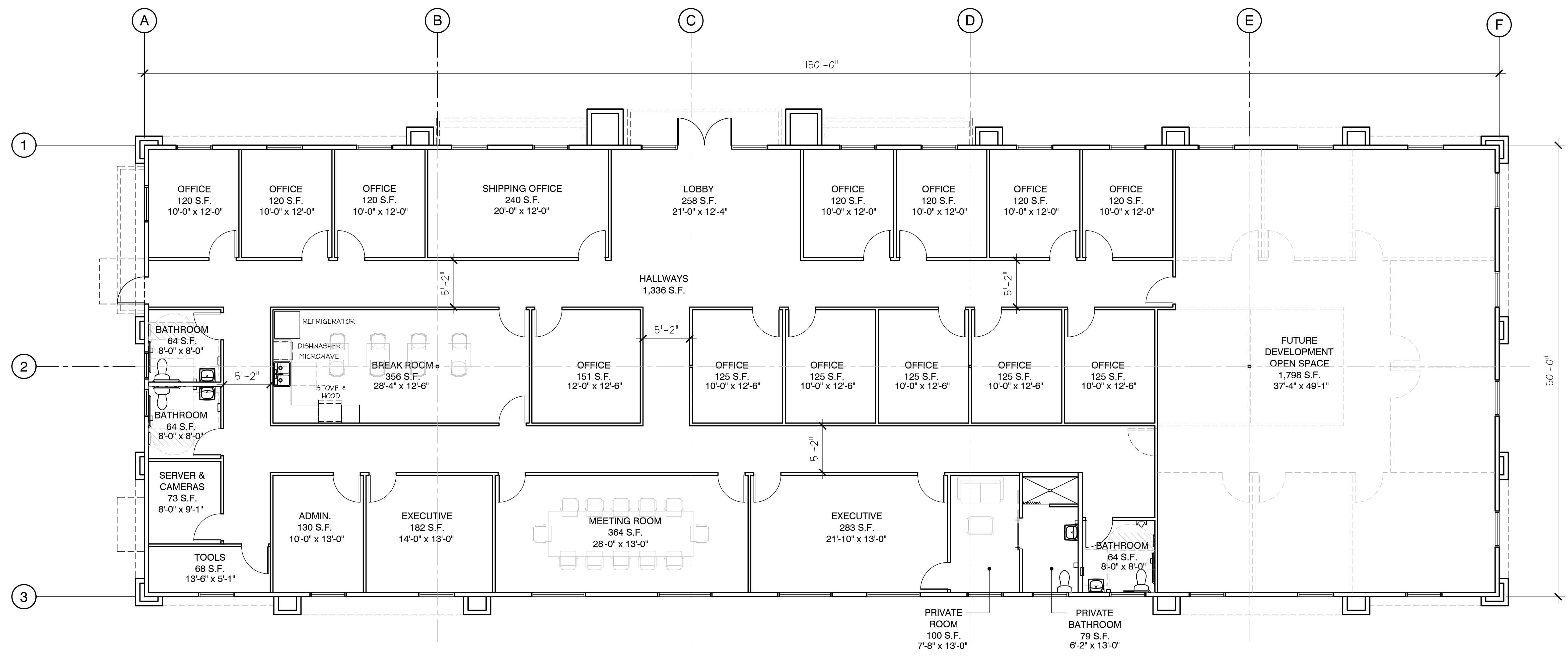


OCCUPANT PLUMBING MATRIX			
ROOM AREAS:	AREA (S.F.):	OCCUPANT LOAD FACTOR #:	OCCUPANTS:
OFFICE	5,782	150	39
OCCUPANT LOAD DIVIDED IN HALF (50% MALE AND 50% FEMALE):		20 - M	20 - F

PLUMBING FIXTURES REQUIRED			
MINIMUM PLUMBING FACILITIES CHART BELOW IS BASED UPON THE B CLASSIFICATION WITHIN TABLE 422.1 OF THE 2022 C.P.C.			
OCCUPANCY	FIXTURES REQUIRED	WATER CLOSETS	URINALS
B	FIXTURES REQUIRED - FOR MEN	1	1
	FIXTURES REQUIRED - FOR WOMEN	2	0
	FIXTURES PROVIDED		
	FIXTURES PROVIDED - BATHROOM #1	1	1
	FIXTURES PROVIDED - BATHROOM #2	1	0
	FIXTURES PROVIDED - BATHROOM #3	1	0

PROJECT DATA	
<b>OWNER INFORMATION:</b>	OWNER: ANGELO PAOLUCCI ADDRESS: 1865 HERNDON AVENUE, SUITE K321 CLOVIS, CA. 93611
<b>SITE DATA:</b>	ADDRESS: 2976 SOUTH PEACH AVENUE FRESNO, CA. 93725 ACCESSOR PARCEL NUMBER: 316-071-36 EXISTING ZONING: AL-20 PROPOSED ZONING: M3 (HEAVY INDUSTRIAL)
	ACCESSOR PARCEL NUMBER: 316-071-37 EXISTING ZONING: M3 (HEAVY INDUSTRIAL) TO REMAIN
	ACCESSOR PARCEL NUMBER: 316-071-38 EXISTING ZONING: AL-20 PROPOSED ZONING: M3 (HEAVY INDUSTRIAL)
<b>BUILDING DATA:</b>	OCCUPANCY TYPE: GROUP "B" (OFFICE) TYPE OF CONSTRUCTION: TYPE VB NUMBER OF STORIES: ONE STORY ALLOWABLE BUILDING HEIGHT: 75 FEET MAX. ACTUAL BUILDING HEIGHT: T.B.D. FIRE SPRINKLERED: YES (NFPA 13) FIRE ALARM: YES FIRE SEPARATION WALL: NO
<b>BUILDING AREA CALCULATION:</b>	BUILDING AREA AS DEFINED BY THE CALIFORNIA BUILDING CODE, SECTION 506 TABLE 506.2. ALLOWABLE AREA: 36,000 SQ. FT. PROPOSED BUILDING AREA: GROSS BUILDING AREA: 7,500 SQ. FT. 36,000 SQ.FT. > 7,500 = OK
<b>OCCUPANT LOAD DATA:</b>	AREAS: OFFICE: 5,782 SQ. FT. / 150 (OFFICE) = 39 TOTAL OCCUPANTS: 39 OCCUPANTS 2 EXITS REQUIRED 2 EXITS PROVIDED
<b>PARKING DATA:</b>	PARKING REQUIRED PER SECTION 843.5 COUNTY OF FRESNO ZONING CODE: - 1 SPACE PER 2 PERMANENT EMPLOYEES. MAXIMUM ANTICIPATED NUMBER OF EMPLOYEES IS 20 = 10 SPACES REQUIRED



PROJECT  
 PROPOSED ENTITLEMENT FOR:  
 AGROPLANTAE OFFICE BUILDING  
 2976 SOUTH PEACH  
 FRESNO, CA. 93725

STATUS
Current Release Date
02-23-2024
Planning Submittal
--
Plan Check Submittal
--

REVISIONS
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IDENTIFICATION
Scale
3/16" = 1'-0"
Project Coordinator
ROGER HURTADO
Project No.
23-151C
Sheet

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# PROPOSED FLOOR PLAN

A-1.0



**CENTERLINE  
DESIGN, LLC**

PLANNING - DESIGN - CONSULTING  
1508 TOLLHOUSE ROAD, SUITE 'C'  
CLOVIS, CALIFORNIA 93611  
559-296-3060 (OFFICE)  
559-298-3257 (FAX)

### KEYED NOTES

- +23'-0" T.O. PARAPET
- +21'-0" T.O. PARAPET
- +19'-0" T.O. PARAPET
- +14'-0" B.O. SOFFIT
- +12'-0" B.O. SOFFIT
- +11'-0" T.O. CANOPY
- +9'-0" T.O. GLAZING
- +3'-0" B.O. SILL
- +0'-0" T.O. SLAB

NORTH ELEVATION

EAST ELEVATION

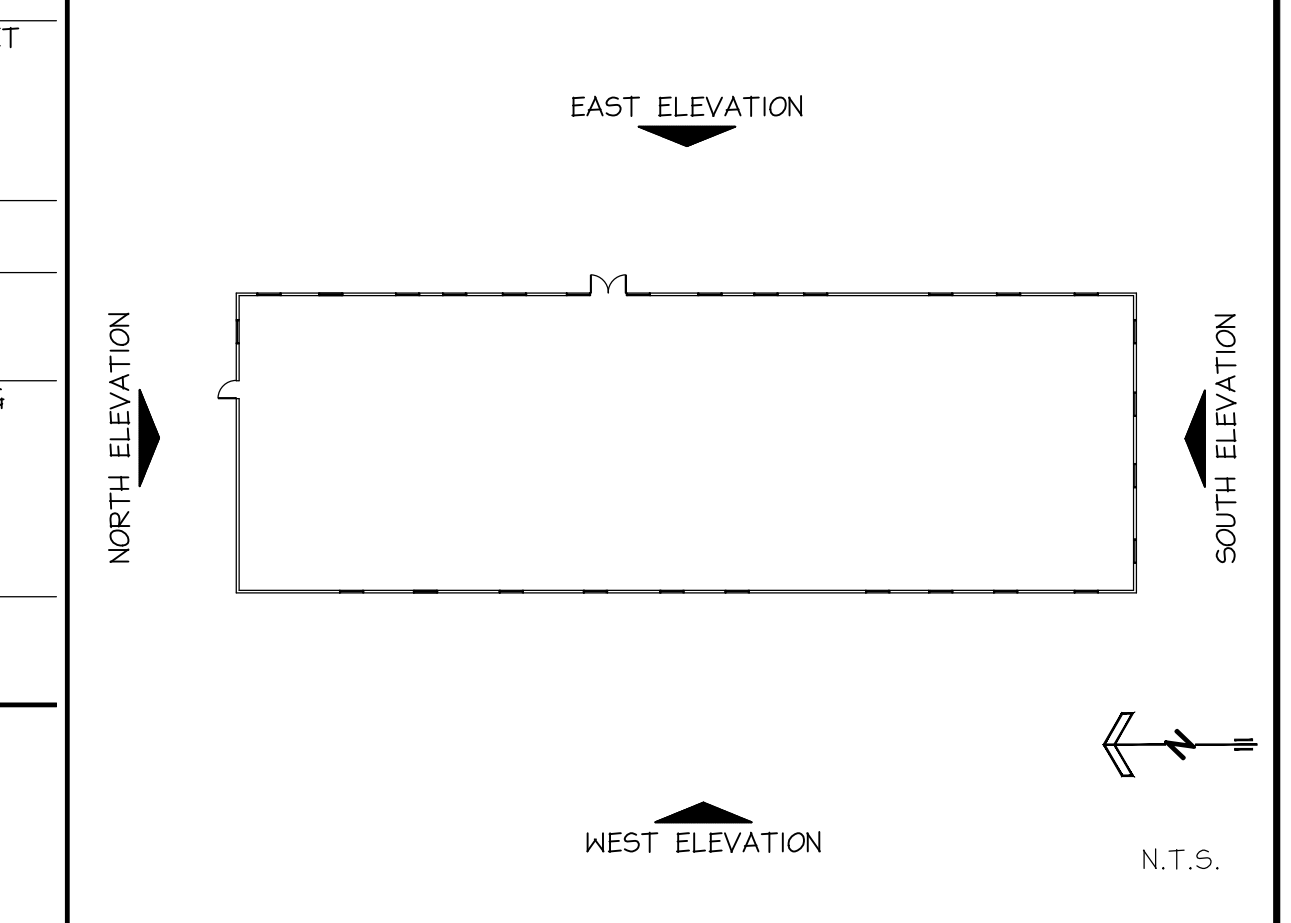
SOUTH ELEVATION

WEST ELEVATION

### COLOR / MATERIAL LEGEND

MATERIAL	FINISH	COLOR
A CEMENT PLASTER (FIELD)	PAINTED	DUNN EDWARDS TBD
B CEMENT PLASTER (FIELD)	PAINTED	DUNN EDWARDS TBD
C CEMENT PLASTER (ACCENT)	PAINTED	DUNN EDWARDS TBD
D CEMENT PLASTER (ACCENT)	PAINTED	DUNN EDWARDS TBD
E CEMENT PLASTER (TRIM)	PAINTED	DUNN EDWARDS TBD
F GLAZING	FACTORY FINISH	REFLECTIVE/TINTED INSULATED GLASS - 1" GLAZING (1/4" SOLAR BRONZE, 1/2" AIR SPACE, 1/4" SUNGUARD SN68) - REFER TO T-24 FOR PENETRATION VALUE REQUIREMENTS.
G STOREFRONT DOOR	FACTORY FINISH	STOREFRONT SYSTEM AT ALL WINDOWS TO BE: 2" x 4 1/2" CENTER GLAZED STOREFRONT SYSTEM (ANODIZED CLEAR MILL FINISH)
H ALUMINUM STOREFRONT SYSTEM	FACTORY FINISH	STOREFRONT SYSTEM AT ALL WINDOWS TO BE: 2" x 4 1/2" CENTER GLAZED STOREFRONT SYSTEM (ANODIZED CLEAR MILL FINISH)
I METAL CANOPY	PAINTED	DIUNN EDWARDS TBD
J STONE VENEER	FACTORY FINISH	ELDORADO STONE TBD
K FIBER BOARD PANEL	FACTORY FINISH	FIBERON WILDWOOD TBD
L VERTICAL STANDING SEAM PANELS	FACTORY FINISH	AEP SPAN TBD
M METAL PANEL	FACTORY FINISH	PAC-CLAD TBD

### REFERENCE PLAN



**PROJECT**  
**PROPOSED ENTITLEMENT FOR:**  
**AGROPLANTAE OFFICE BUILDING**  
**2976 SOUTH PEACH**  
**FRESNO, CA. 93725**

**STATUS**

Current Release Date	02-23-2024
Planning Submittal	--
Plan Check Submittal	--

**REVISIONS**

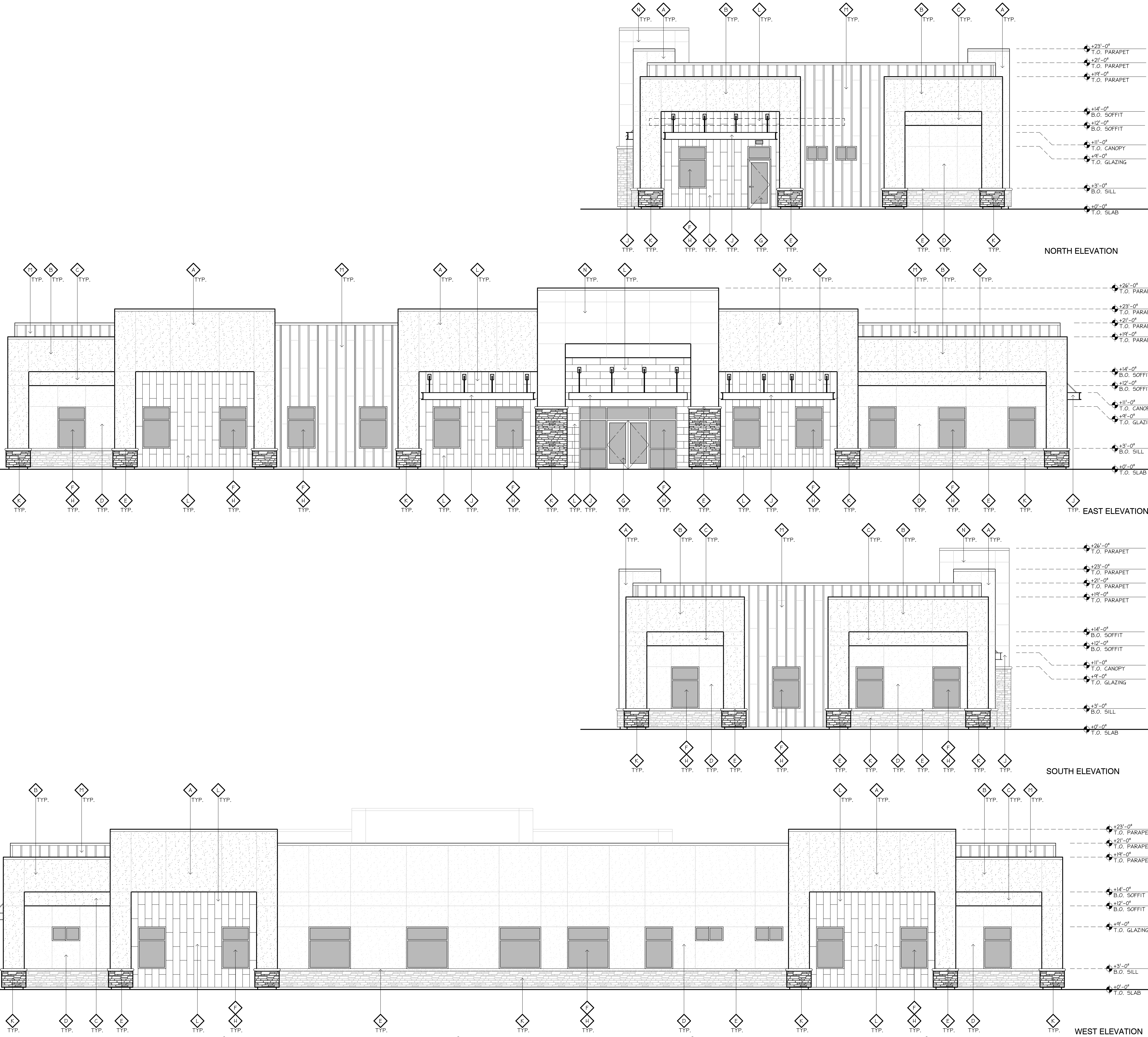
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**IDENTIFICATION**

Scale	3/16" = 1'-0"
Project Coordinator	ROGER HURTADO
Project No.	23-151C

Sheet **A-3.0**

# PROPOSED EXTERIOR ELEVATIONS



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# BIOLOGICAL RESOURCE ASSESSMENT

## 2975 S. Peach Avenue, Fresno, CA

APNs

316-081-36/37/38/75

Prepared for:



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# **1.0 EXECUTIVE SUMMARY AND INTRODUCTION**

---

## **EXECUTIVE SUMMARY**

Argonaut Ecological, Inc. conducted a biological evaluation of an approximately 27.78 acre site bordered by E. North Ave. on the South and S. Peach Ave. on the east in Fresno County.

The assessment included evaluating the types of habitats present and sensitive species associated with those habitats. The biological evaluation focused on mapping existing habitat types based on a site reconnaissance and a review of public and commercial databases, aerial photographs (current and historical), and other published information and available data.

The Study Area is a mixture of agricultural, residential, and commercial/industrial uses. There are no sensitive habitats within the Study Area, including Waters/wetlands or critical habitat for species of concern. There is some limited habitat for a State species of concern (Western burrowing owl).

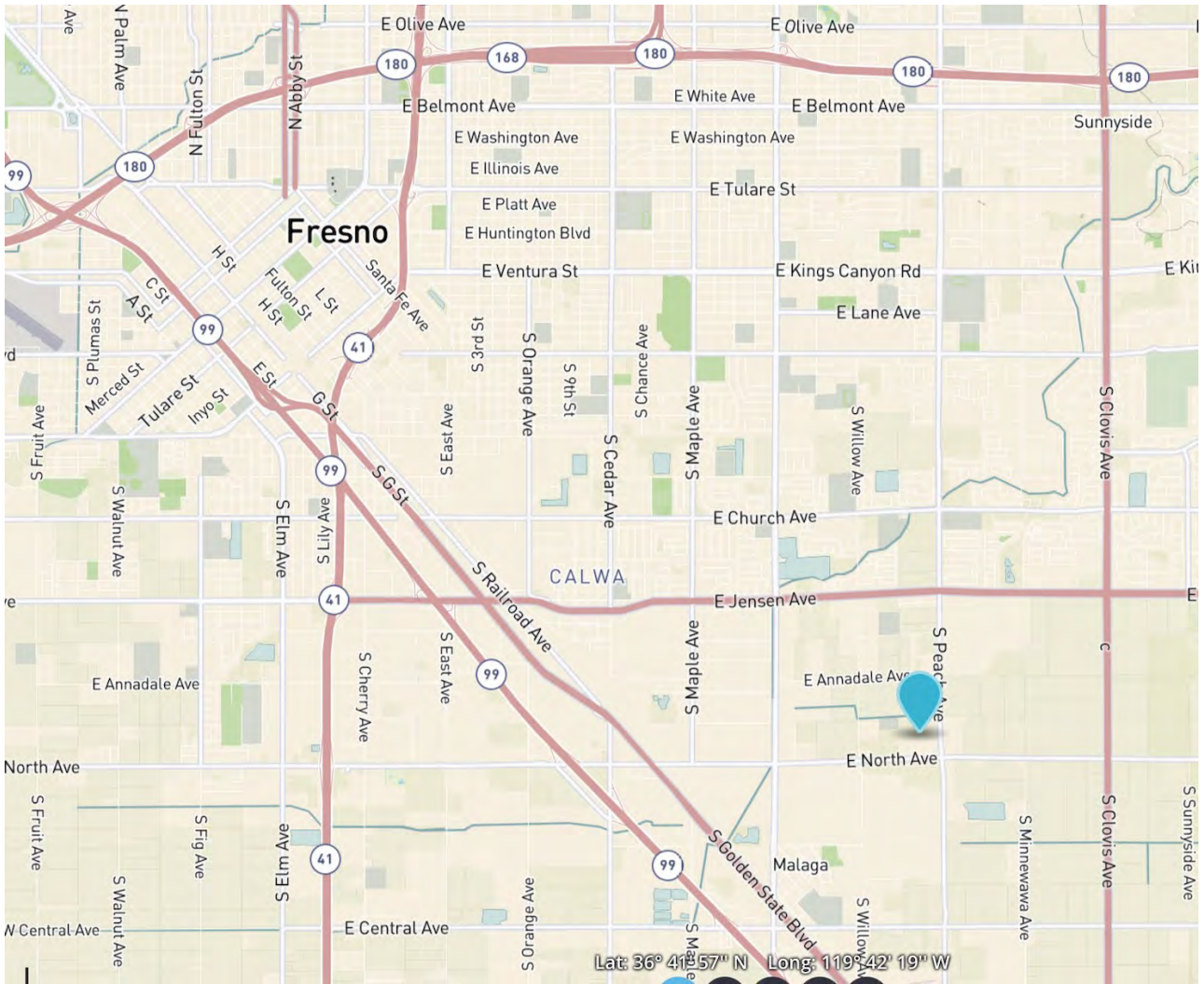
## **1.1 INTRODUCTION**

Argonaut conducted a biological resource assessment of the subject, approximately 27.78 acre site. The parcels are at the northwest corner of S. Peach Avenue and E. North Avenue. There is an existing business (AgroPlantae) at the southeast corner of the Study Area, and the applicant proposes to expand the business footprint within the Study Area boundary.

## **1.2 STUDY OBJECTIVES**

This report describes the biological resources present within and adjacent to the Study Area, describes the area's biological characteristics, and evaluates the Study Area's likelihood to support sensitive biological resources (such as wetlands, creeks/drainages, and special status species). This evaluation is based on available literature, aerial photography, historic topographic and aerial maps, as well as a site visit. For this study, wetland habitat includes those areas possibly considered "Waters of the U.S." by the U.S. Army Corps of Engineers (Army Corps) or Waters of the State of California. As described in Section 1.2.1, wetlands are a subset of "Waters of the U.S." under the Federal Clean Water Act (CWA).

This report assesses the project's potential effects on biological resources and evaluates whether any associated regulatory approvals or permits are required. This report also evaluates potential impacts that site development may have on protected habitat, species protected by the Federal Endangered Species Act (ESA), or those protected under the California Environmental Quality Act (CEQA) or California Endangered Species Act (CESA).



**Figure 1**  
 Location Map

### 1.3 REGULATORY JURISDICTION AND BACKGROUND

Several agencies share regulatory jurisdiction over biological resources. The following is a brief description of the primary jurisdiction of each agency.

#### Wetland Protection

##### *U.S. Army Corps of Engineers*

Wetlands are a type of Waters of the U.S. The U.S. Army Corps of Engineers (Army Corps) and the U.S. Environmental Protection Agency (EPA) regulate the placement of fill into the Waters of the U.S. under Section 404 of the Federal Clean Water Act (CWA) and Section 10 of the Rivers and Harbor Act. For this purpose, the term "Waters of the U.S." is legally defined under Section 404 of the Federal CWA and includes interstate streams, creeks, and adjacent wetlands. The Army Corps defines wetlands as "*those areas that are inundated or saturated by surface or groundwater at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions*" (Environmental Laboratory 1987). In California, seasonally inundated areas that meet the criteria of all three wetland parameters (soils, hydrology, and vegetation), as defined in the recently issued Wetland Delineation Manual for the Arid West (USACE 2006), are also considered jurisdictional wetlands.

Since 2001, several U.S. Supreme Court rulings regarding the regulation of isolated, intrastate Waters by the Army Corps have limited the scope of federal jurisdiction under the CWA and excluded many California wetlands from federal regulation.

In December 2019, the U.S. EPA and the U.S. Army published the final rule to repeal the 2015 Clean Water Rule. The "Clean Water Rule" clarified what constitutes Waters of the U.S. (Waters), and presumably, more precisely define and make permitting more predictable, thus less costly, and more straightforward.

After several challenges to the "Clean Water Rule," the U.S. EPA and the Department of the Army proposed the pre-2015 (pre-Obama-era rules) definition "of Waters of the United States," updated to reflect consideration of Supreme Court decisions. The new rule went into effect on May 23, 2023; however, on May 25, 2023, the U.S. Supreme Court's issued a decision in the case of *Sackett v. Environmental Protection Agency* that rolled back the definition of Waters of the U.S. to better align with the original definition as included in the *Rapanos* decision. The new definition limits "Waters" as "limited geographic[al] features that are described in ordinary parlance as 'streams, oceans, rivers, and lakes' and to 'adjacent wetlands that are 'indistinguishable' from those bodies of water due to a continuous surface connection.'" The prior use of a "significant nexus" was set aside by the Court.

Waters typically do not include prior converted cropland (those areas converted prior to December 23, 1985). Notwithstanding the determination of an area's status as prior converted cropland by any other federal agency for the purposes of the CWA, the final authority to determine jurisdiction remains with the EPA.



## *California State Water Resources Control Board*

Since 1993, California has had a Wetlands Conservation Policy (a.k.a. Executive Order W-51 59-93). It is commonly referred to as the *No Net Loss policy* for wetlands, establishing a state mandate for developing and adopting a policy framework and strategy to protect the State's wetland ecosystems. The policy was to be implemented voluntarily and was expressly not to be implemented on a "project-by-project" basis (See EO W-59-93, Section III).

In 2020 California adopted the State Wetland Definition and Procedures for Discharges of Dredged or Fill Material to Waters of the State. The State definition of wetland differs from the Federal definition in that the state definition includes areas with no vegetation, assuming the other criteria are met. Wetlands of the State include 1) natural wetlands, 2) wetlands created by modification of water of the State (at any point in history), and 3) artificial wetlands that meet specific criteria. The State definition only exempts a few types of Waters. Examples of water features excluded from the State's definition include industrial or municipal wastewater, certain stormwater treatment facilities, agricultural crop irrigation, industrial processing or cooling, and fields flooded for rice growing.

### **Listed Protected Species and Habitat Protection**

#### *U.S. Fish and Wildlife Service*

The U.S. Fish and Wildlife Service (USFWS) implements the Migratory Bird Treaty Act (16 USC Section 703-711), Bald and Golden Eagle Protection Act (16 United States Code [USC] Section 668), and Federal Endangered Species Act (FESA; 16 USC § 153 *et seq.*).

The **Migratory Bird Treaty Act (MBTA)** was first enacted in 1918 to protect migratory birds between the United States and Great Britain (acting on behalf of Canada). The MBTA makes it illegal for anyone to take, possess, import, transport, purchase, barter, offer for sale, or purchase any migratory birds, nests, or eggs unless a federal agency has issued a permit. The USFWS has statutory authority and responsibility for enforcing the MBTA. The MBTA was reformed in 2004 to include all species native to the U.S. or its territories due to natural biological or ecological processes (70 FR 12710, March 15, 2005). The Act does not include nonnative species whose occurrences in the U.S. are solely the result of intentional or unintentional human introduction. The USFWS maintains a list of bird species not protected under the MBTA.

In January 2021, the USFWS published a new rule in the Federal Register. Under the rule change, the unintentional killing of migratory birds does not violate the MBTA. Only the intentional "pursuing, hunting, taking, capturing, killing, or attempting to do the same ... directed at migratory birds, their nests, or their eggs" would be illegal under the changes.

The **Federal Endangered Species Act (FESA)** prohibits "take" "of any federally listed wildlife species (the destruction of federally listed plants on private property is not prohibited and does not require a permit). "Take" under the federal definition means to harass, harm, pursue, hunt, shoot, wound, kill, trap, capture, collect, or attempt to engage in any such conduct. "Incidental take" is harm death that may occur during the implementation of an otherwise lawful activity. "Candidate

species" do not have the full protection of FESA. However, the USFWS advises project applicants that it is prudent to address these species since they could be elevated to "listed status" before the completion of projects with long planning or development schedules.

The Projects that would result in "take" of any federally-listed threatened or endangered species can obtain authorization from the USFWS through either Section 7 (interagency consultation) or Section 10(a) (incidental take permit) of FESA. The authorization process determines if a project would jeopardize a listed species' continued existence and what mitigation measures would be required to avoid jeopardizing the species.

An Incidental Take Permit (ITP) or Take Permit is required when an activity would either kill, harm, harass or interrupt a listed species' breeding or nesting. The ESA definition of "harm" is somewhat less definitive since it includes ubiquitous activities. In 1999 the USFWS clarified the term "harm" as it applies to the ESA in the Federal Register. As stated, the final rule defined the term "harm" "to include any act which causes actual harm (kills or injures fish or wildlife) and emphasizes that such actions may have significant habitat modification or degradation that significantly impairs essential behavioral patterns of fish or wildlife.

### *California Department of Fish and Wildlife*

The California Department of Fish and Wildlife (CDFW) is a Trustee Agency responsible under CEQA for reviewing and evaluating project impacts on plant and wildlife resources. Under the Fish and Game Code Section 1802, the CDFW has jurisdiction over the conservation, protection, and management of fish, wildlife, native plants, and habitat necessary for biologically sustainable populations. The California Fish and Game Code also provides authority for the CDFW to regulate projects that could result in the "take" of any species listed by the State as threatened or endangered (Section 2081). CDFW also has authority over all state streams, as described below.

Perennial and intermittent streams also fall under the jurisdiction of CDFW according to Sections 1601-1603 of the Fish and Game Code (Streambed Alteration Agreements). CDFW's jurisdictional extent includes work within the stream zone, including the diversion or obstruction of the natural flow or changes in the channel, bed, or bank of any river, stream, or lake. Before issuing a 1601 or 1603 Streambed Alteration Agreement, the CDFW must demonstrate compliance with CEQA. In most cases, CDFW relies on the CEQA review performed by the local lead agency. However, in cases where no CEQA review was required for the project, CDFW would act as the lead agency under CEQA.

The CDFW also has authority for the protection of state-listed species issues under Section 2081 Incidental Take Permit if a project has the potential to negatively affect state-protected plant or animal species or their habitats, either directly or indirectly. Protected species include those "listed" by the State as endangered or threatened. Besides listed species, other species protection categories include "fully protected" and California Species of Special Concern (CSC). Adverse impacts to species that are "fully protected" are prohibited.

Under the California Fish & Game Code (FGC Section 3503), "it is unlawful to take, possess, or needlessly destroy the nest or eggs of any bird...." Birds of prey (falcons, hawks, owls, and eagles) get extra protection under the law (FGC Section 3503.5).

As with USFWS, CDFW does not have the authority to require a landowner to apply for an ITP authorizing take. Instead, the landowner has the legal obligation to avoid any take of state-listed species if it does not seek an ITP. CDFW (and USFWS) can initiate an enforcement action if they believe that an illegal take has occurred or will occur.

### **California Endangered Species Act**

The California Endangered Species Act (CESA) protects candidate plants and animal species and those listed under CESA as rare, threatened, or endangered. This Act prohibits the take of any such species unless authorized. Section 2081 authorizes the State to issue ITPs. The state definition of taking applies only to acts that result in death or adverse impacts on protected species. The CESA mirrors the federal regulation as it relates to "take"; however, there is no State equivalent definition of "harm" or "harass." Incidental take is also not defined by the CESA statute or regulation. Unlike the federal ESA, CESA does qualify that incidental take "is not prohibited" "if it is the result of an act that occurs on a farm or ranch during an otherwise lawful routine and ongoing agricultural activity." Where disagreement occurs (and in some cases, this has been the subject of court cases) is in the common understanding of "routine and ongoing agricultural activity."

### **California Environmental Quality Act**

The CEQA Guidelines require a review of projects to determine their environmental effects and identify mitigation measures to reduce impacts to a less than significant level. The Guidelines state that an effect may be significant if it affects rare and endangered species. Section 15380 of the Guidelines defines *rare* to include listed species and allows agencies to consider rare species other than those designated as State or Federal threatened or endangered but that meet the standards for rare under the Federal or State endangered species acts. On this basis, plants designated as rare by non-regulatory organizations (e.g., California Native Plant Society), species of special concern defined by CDFW, candidate species defined by USFWS, and other designations must be considered in CEQA analyses.

### **Land Use Entitlements**

#### *Fresno County*

The Project site is located in Fresno County. The County is responsible for all local land-use decisions within its jurisdiction under CEQA and would serve as the lead agency. As the lead agency, the County will consider other responsible agencies' recommendations during the CEQA review.

## **2.0 RESOURCES CONSULTED AND METHODS**

The following section describes the methods used to assess the Study Area and includes data review and evaluation, field studies, and aerial photograph interpretations.

### **2.1 DATA AND LITERATURE REVIEW**

Documents and sources of information used to prepare this evaluation include the following:

- Aerial photography (Google Earth®, Bing®, and historic aerials).
- California Department of Fish and Wildlife, California Natural Diversity Database (CNDDDB/RareFind - Recent version with updates)
- EcoAtlas 2023.
- U.S. Department of Agriculture, Natural Resources Conservation Service, Soil Survey of Fresno County (Soils mapper).
- U.S. Fish and Wildlife Service, National Wetland Inventory Map.
- U.S. Fish and Wildlife Service, Information for Planning and Consultation (IPaC) query, July 28, 2023.
- U.S. Geological Survey, Historical Topographic Map, Malaga Quadrangle, 1924, University of Texas, Austin, Perry-Castañeda Map Collection

Before conducting a site review, the California Natural Diversity Database/RareFind (CNDDDB) and the USFWS IPaC were consulted to determine the species potentially present within the Study Area based on location. The review aimed to assess the likelihood of special status species being present based on the site's distance from documented species occurrences and the presence or absence of habitat types utilized by such species. The CNDDDB includes records of reported observations for special status plant and animal species and is queried based on a search radius of USGS quadrangle maps. Before conducting the fieldwork, high-resolution aerial photographs were also reviewed to determine if any areas on the site supported the presence of Waters of the U.S.

### **2.2 AERIAL PHOTOGRAPHY AND WETLAND MAPPING**

Historical aerial photographs dating back to the 1980s of the Study Area were reviewed to identify site features and determine land-use changes over time. Also reviewed were wetland mapping and aerial photographs to determine if the Study Area recently supported wetlands.

### **2.3 FIELD INVESTIGATION**

A site investigation was performed on June 17, 2023. The entire Study Area was reviewed, and all habitat features were mapped. Soils, vegetation, and drainage patterns within the Study Area were inspected to determine the habitat present and suitability for species of concern. The site was walked using transects to provide full coverage.

## 3.0 PHYSICAL RESOURCES, RESULTS, AND CONCLUSIONS

Section 3.1, below, describes the physical features (i.e., land use, soils, vegetation, hydrology, etc.) and the study area's biological features. The physical components and land use strongly influence the types of plants and animals present. This section also describes the habitats present and the specific biological resources observed during the site review.

Section 3.2 presents conclusions, and Section 3.3 contains recommended avoidance and minimization measures to avoid potential impacts.

The following is not an exhaustive inventory of plants and animals present. Instead, the discussion provides sufficient information to characterize the habitat and habitat components present on site. This field survey identified the biological resources present. The biological evaluation discusses the habitat present and the potential for that habitat to support any species considered unique, sensitive, or protected by current law. The conclusion section (3.2) summarizes the results of the data review, fieldwork, and evaluation of biological resources and potential impacts. The conclusion sections also include recommendations for measures to minimize any potential impacts.

### 3.1 PHYSICAL RESOURCES

#### *Climate*

The Study Area climate is typical of the central San Joaquin Valley, with long, hot, dry summers and cool, mild winters. In the winter, rainfall averages approximately 9.99 inches per year, falling mainly between November and April (Western Regional Climate Center, 2004). During 2021, the Fresno region had a total of 8.22 inches of rainfall; in 2022, there was a total of 5.43 inches. Since the fall of 2022, the regional rainfall near Fresno totaled 21 inches (through May 2023).

#### *Topography, Drainage, and Soils*

##### Topography and Drainage:

The Study Area lies within the Central Valley and is at an elevation of 300 (mean sea level). The elevation has remained roughly the same since the early 1900s. The Washington Canal extends north and south, east of S. Peach Avenue. An agricultural ditch that is tied to the Washington Canal extends along the northern boundary of the Study Area. The ditch was excavated sometime in the 1950s. There is no defined drainage path within or from the Study Area. The general direction of drainage is likely toward the southwest. Figure 2 shows a topographic map of the area from 1946.

##### Soils:

The site soil types are Hesperia fine sandy loam, deep (16% of the Study Area) and Hanford coarse sandy loam (84%)

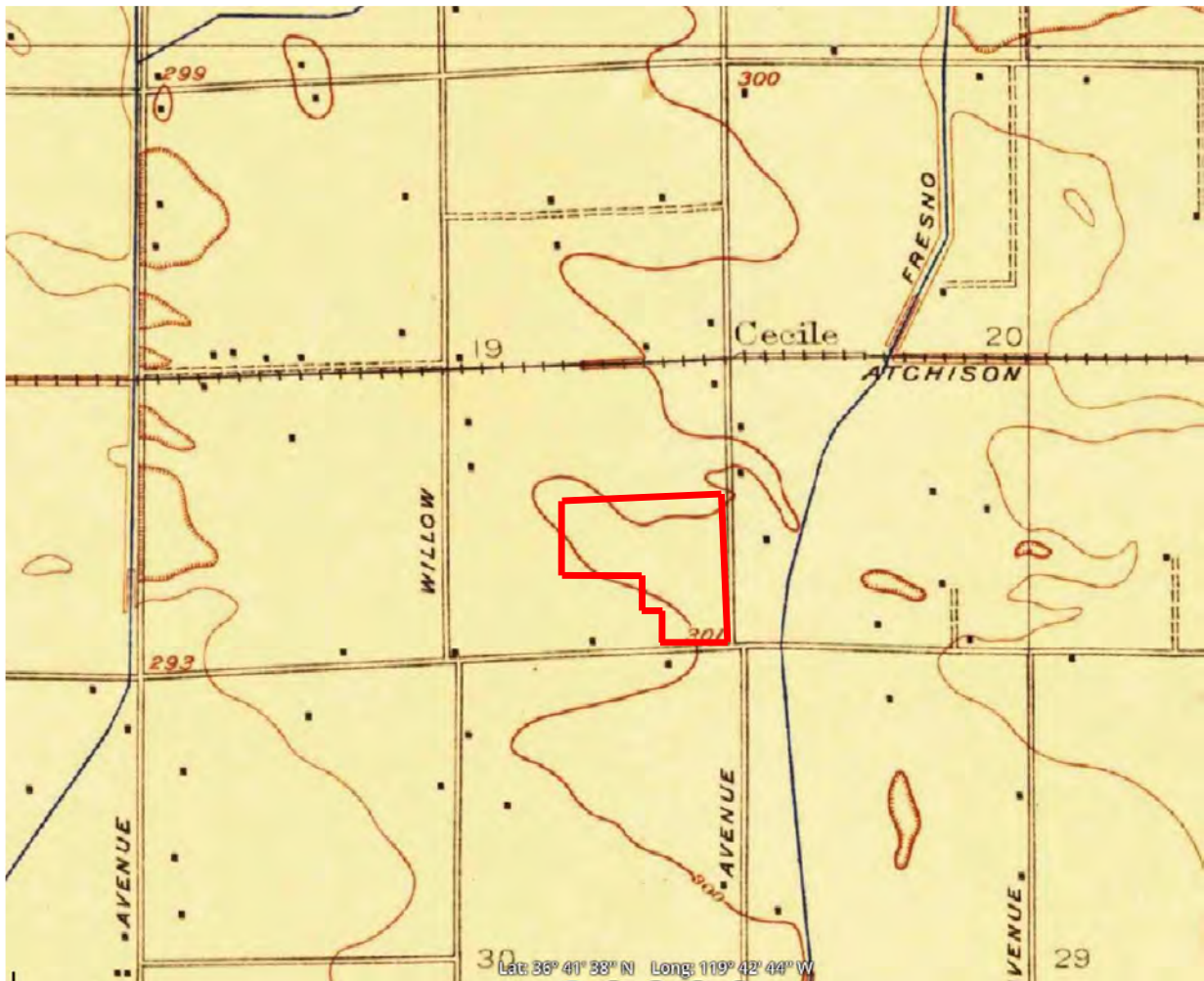


Figure 2

Topographic Map: 1946



## *Land Use*

The Study Area is in a historically rural, agricultural area of Fresno County. The surrounding land uses include residential homes, a senior care facility/skill care, and commercial and light industrial.

Historically there were three homes within the Study Area. Two of the homes are vacant and the third was converted into commercial office for AgroPlantae. One of the other two residences is located immediately behind/west of the AgroPlantae office and the third residence is located north of AgroPlantae within a roughly 5 acre parcel. This vacant five 5-residential parcel has a large home, numerous landscape trees, a built-in swimming pool, orchards, and a driveway.

AgroPlantae purchased a roughly 4.5 acre parcel within the Study Area in 2012 and began to make improvements including remodeling an existing residence and other building projects and paving an existing parking area) AgroPlantae began *operating the business in this location in 2017 (personal communication with A. Paolucci of AgroPlantae)* . The business produces specialized agricultural nutrients/fertilizers.

The remainder of the Study Area, which includes agricultural lands and disturbed area has remained relatively unchanged for a few decades. The agricultural land is periodically in row crop production.

## *Habitat*

There are several California habitat classification systems. Most classification systems describe natural communities without established classifications for developed or agricultural habitats. CALVEG is a USDA Forest Service product providing a comprehensive spatial dataset of existing vegetation covering California. The data were created using a combination of automated systematic procedures, remote sensing classification, photo editing, and field-based observations. Analyses are based “on a crosswalk of the CALVEG classifications to the California Wildlife Habitat Relationships (CWHR).”

Calveg lists the site as “Commercial/Mixed Urban,” “Residential,” and “Field Crops.” Attachment A shows photographs of the Study Area. Figure 3 shows the habitats within the Study Area.

Surrounding the existing business office (former residence) and warehouse are various landscape trees and shrubs (old orchard trees, palm, Chinese elm, bottlebrush, white mulberry, pine, and eucalyptus). Interspersed within the ruderal habitat are desiccated nonnative grasses (e.g., *Bromus diandrus*, *Hordeum murinum*, *Vulpia myuro*) and other weedy species, including storksbill and dove weed, wild oats, horseweed, hairy fleabane, lamb’s quarters and yellow mustard. No mammals were observed surrounding the current business office and warehouse. Bird species observed include mourning dove, black-capped chickadee, and crow.

The habitat surrounding a vacated residence within the area proposed for expansion of the business includes a habitat similar to the habitat described above. A variety of orchard trees are also scattered throughout the property.

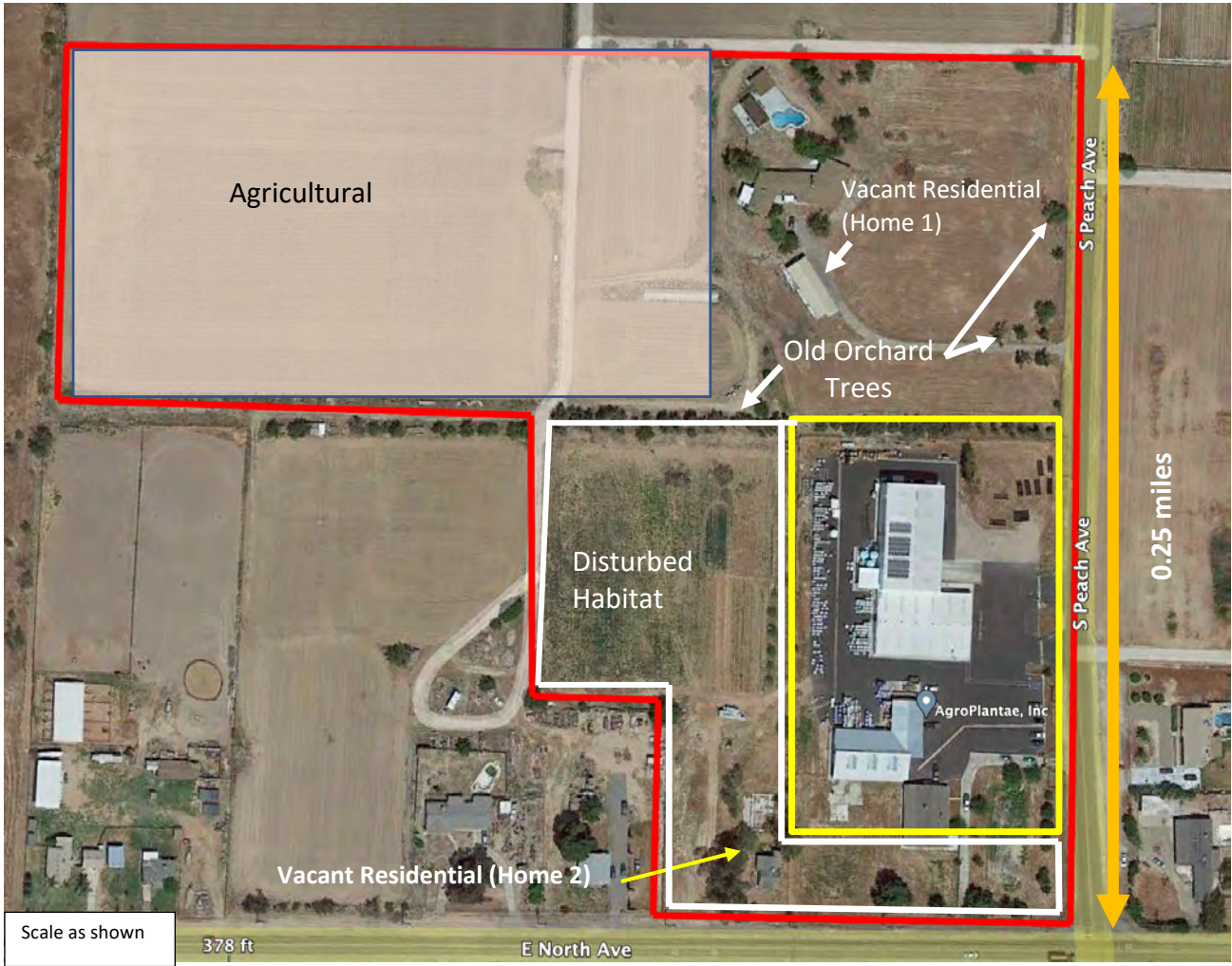


Figure 3  
 Habitat Map



The western half of the Study Area is currently fallow agricultural land. However, based on aerial photographs, the area appears to typically be used for row crops. A colony of ground squirrels was identified along the northern edge of the Study Area between the agricultural field and an elevated farm access road. The property immediately north and west of the Study Area is also in agricultural production. Disturbed/ruderal habitat areas are scattered throughout the agricultural lands in equipment lay-down areas, well sites, etc. A dense hedge row of wild mustard and blackberry thickets is located along the western boundary of the Study Area. Several bird species (mourning dove and several killdeer) were observed onsite. Killdeer nests on the ground. A red-tailed hawk was observed perched on the property north of the Study Area. Several house cats were observed along the edges of the Study Area. Two mature trees are located on the southern edge of the Study Area, but no raptor nests were identified in either tree.

### *Waters/Wetland*

According to the National Wetland Inventory Map (Figure 4), there are no mapped Waters (streams, drainages, wetlands) within or immediately adjacent to the Study Area, either currently or historically.

The entire Study Area was walked to look for any evidence of potential wetlands/waters habitat, and wetland, Waters, or any other aquatic habitat (either perennial or seasonal). There are no seasonal wetlands within the Study Area or other Waters of the U.S./Waters of the State.

### **Special Status Species**

A query of the California Natural Diversity Database (CNDDDB) (Attachment B) and the USFWS IPaC was performed to determine which special status species could be present within the Study Area. No critical habitat exists for any species within or near the Study Area. The CNDDDB Bios mapping is shown in Figure 4<sup>1</sup>. This map shows the location of known records of special status species near the Study Area, and Table 1 includes a summary of the CNDDDB query results.

The Study Area is not within any Critical Habitat for any listed species.

### *Birds*

The CNDDDB and the IPaC include several bird species that have the potential to be present within or near the Study Area, including migratory birds. There are two mature trees, but no raptor nests are present. The old orchard trees scattered throughout the Study Area could provide some habitat for nesting migratory birds. Only one ground-nesting raptor (burrowing owl) has potentially suitable habitat within the Study, as described below.

**Burrowing owl (*Atheneo cunicularia*).** This is a small ground-nesting owl that depends on ground-burrowing mammals for underground burrows for nesting. Burrowing owls prefer somewhat open grassland that affords better visibility and avoids areas with tall, dense forbs. Active ground-burrowing mammals

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<sup>1</sup> It is important to keep in mind that a number of records in the CNDDDB database are historic records (beginning around the 1900s) and are not intended to affirm current presence or absence.

(California ground squirrels) were observed at the northern end of the Study Area, at the edge of the agricultural fields, and within equipment laydown areas. The suitability of the Study Area for this species is low, given the lack of vegetative cover; however, occupation in the near future cannot be ruled out, especially within areas with some vegetative cover, such as equipment lay down areas.

### *Mammals*

The IPaC list one species of mammal that occur within the region San Joaquin kit fox (*Vulpes macrotis*). However, there are no known records of San Joaquin kit fox within a 10-mile radius of the Study Area, and the habitat within the Study Area is unsuitable for this species.

### *Amphibians, Reptiles, and Invertebrates*

The Study Area does support any aquatic habitat. Therefore, species that depend on aquatic habitats for any part of their life cycle are absent within the Study Area.

### *Plants*

The CNDDDB and IPaC identify numerous special status plant species. The majority of the plants are species associated with wetlands or aquatic habitats. There is no suitable habitat for any of these species within or immediately adjacent to the Study Area because the Study Area is in row crop production and, before 2015, was planted with orchards.

The site review was conducted during the prime bloom period for a majority of plants found within this region. No special status species of plants are present.

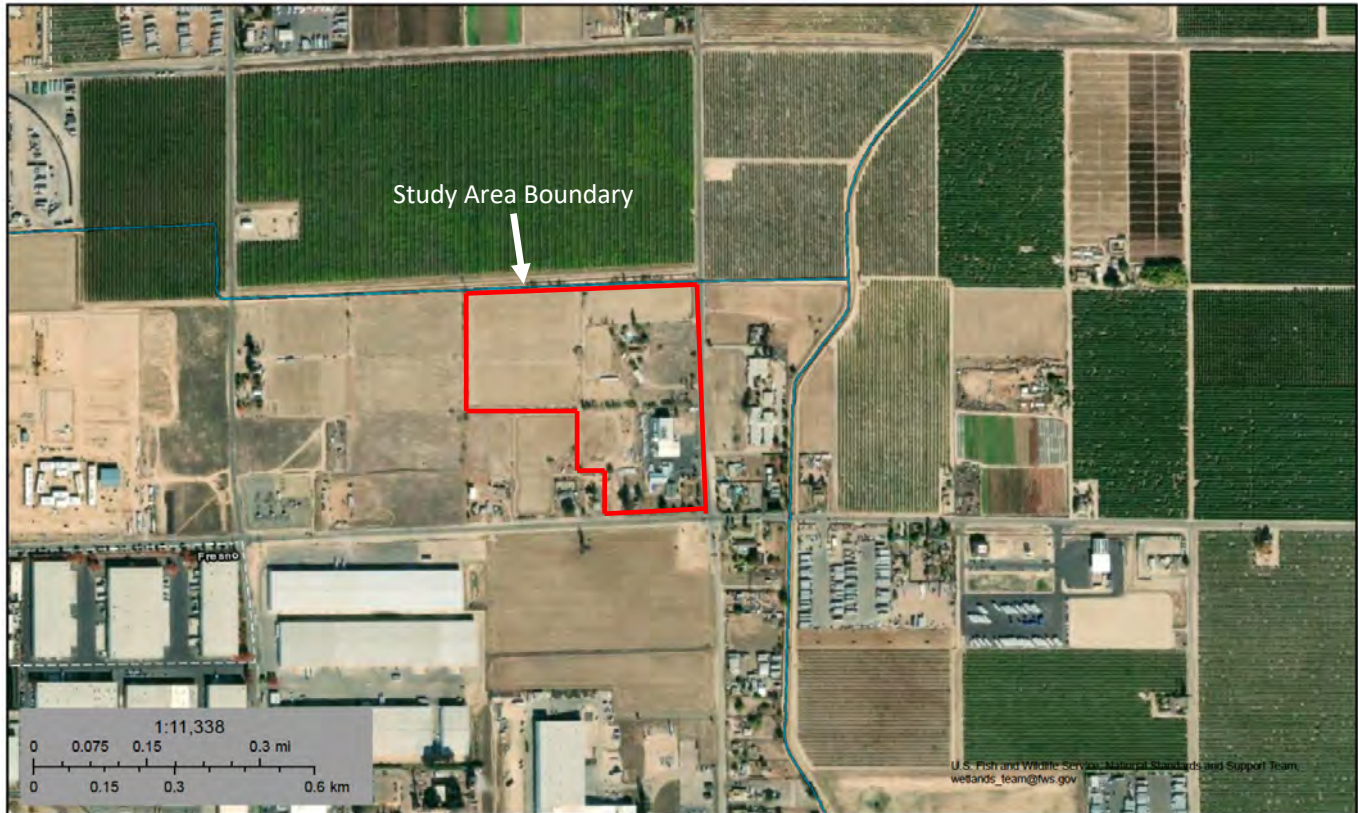


Figure 4

National Wetland Inventory (NWIS) Mapping

Project: S. Peach Avenue\_Arogplante

**Table 1**  
**Summary of Special Status Species, Potential Occurrence, and Impact**

<i>Common Name</i>	<i>Scientific Name</i>	<i>Status</i> <sup>1</sup>	<i>Effects</i> <sup>2</sup>	<i>Occurrence in the Study Area</i> <sup>3</sup>
<b>Birds</b>				
Western yellow-billed cuckoo	<i>Coccyzus americanus occidentalis</i>	FT/CE	NE	<b>Absent.</b> Nests in riparian areas, willow thickets. No suitable habitat near Study Area.
Burrowing owl	<i>Atheneo cunicularia</i>	SSC	ME	<b>Likely Absent.</b> Occupies grasslands and some disturbed sites but needs ground burrowing mammal burrows for nesting. Ground burrows are present but no evidence of current burrowing owl occupation.
Swainson's hawk	<i>Buteo swainsoni</i>	--/CT	NE	<b>Likely Absent.</b> Nests in mature trees. No raptor nests were observed.
<b>Amphibians, Reptiles, and Invertebrates</b>				
Coast horned lizard	<i>Phrynosoma blainvillii</i>	--/--	NE	<b>Absent.</b> Inhabitants arid scrub, grassland, and chaparral habitats. Suitable habitat not present.
California tiger salamander	<i>Ambystoma californienwe</i>	FT/CT	NE	<b>Absent.</b> Requires seasonal wetlands/ponds for breeding: no suitable habitat present and no suitable upland aestivation habitat present.
Northern California legless lizard	<i>Anniella pulchra</i>	--/--	NE	<b>Absent.</b> Occurs in moist warm loose soil with plant cover. Moisture is essential. Suitable habitat not present.
California glossy snake	<i>Arizona elegans occidentalis</i>	--/--	NE	<b>Absent.</b> Open dry habitat, grassland. CNDDDB record from 1989 in the vicinity of Fresno. The current range in Fresno County is the western edge of the County.
<b>Plants</b>				
California jewelflower	<i>Caulanthus californicus</i>	FE/CE	NE	<b>Absent:</b> Occurs in grassland and shadescale scrub. One known record within the Malaga quadrangle. Suitable habitat not present.
Madera leptosiphon	<i>Leptosiphon serulatus</i>	FE/CE 1B.2	NE	<b>Absent.</b> Occurs in yellow pine forests and foothill woodlands. Suitable habitat not present.

**1 Status= Listing of special status species, unless otherwise indicated**

CE: California listed as Endangered

CT: California listed as Threatened

SSC: California Species of Special Concern

FE: Federally listed as Endangered

FT: Federally listed as Threatened

1B.1, 1B.2, 2B.2, 2B.3: California Native Plant

Society Ranking

*Source: CNDDDB = California Natural Diversity Database provided by CDFG and U.S. Fish and Wildlife Service, Information for Planning and Consultation. (IPaC). Accessed online between June 18, 2023.*

**2 Effects = Effect determination**

NE: No Effect

ME: May Effect, not likely to adversely effect

**3 Definition of Occurrence Indicators: Present/Potentially:** Species recorded in the area and some habitat elements in the Study Area similar to known occurrences. **Absent/Likely Absent:** Species not recorded in Study Area and/or suitable habitat or critical habitat components not present.

## 3.2 CONCLUSIONS/RECOMMENDATIONS

### CONCLUSIONS

- The Study Area has historically been disturbed in agricultural, residential, and light industrial uses. Agricultural areas remain in production.
- The habitat value of the Study Area is limited, and the only wildlife, or signs of wildlife, was a few birds and ground squirrels.
- There are few suitable nesting trees for tree-nesting raptors within the Study Area. No evidence of nests was found.
- The Study Area could support habitat for the ground-nesting burrowing owl, a species of special concern in California. No evidence of occupation was observed, but species could occupy the non-industrial/commercial portions of the property in the future.
- There are no potential Waters or wetlands within or near the Study Area.

## References

California Natural Diversity Database (CNDDDB) Online. Subscription with updates. Available at: URL <https://www.wildlife.ca.gov/Data/CNDDDB>

Brian L Cypher and Kenneth A. Spencer. Competitive Interactions between Coyotes and San Joaquin Kit Foxes. Published in *Journal of Mammalogy*, Volume 79, Issue 1, 20 February 1998, Pages 204–214, <https://doi.org/10.2307/1382855>

National Resource Conservation Service (NRCS), Web Soils Survey. Available at: URL <https://websoilsurvey.sc.egov.usda.gov/App/HomePage.htm>

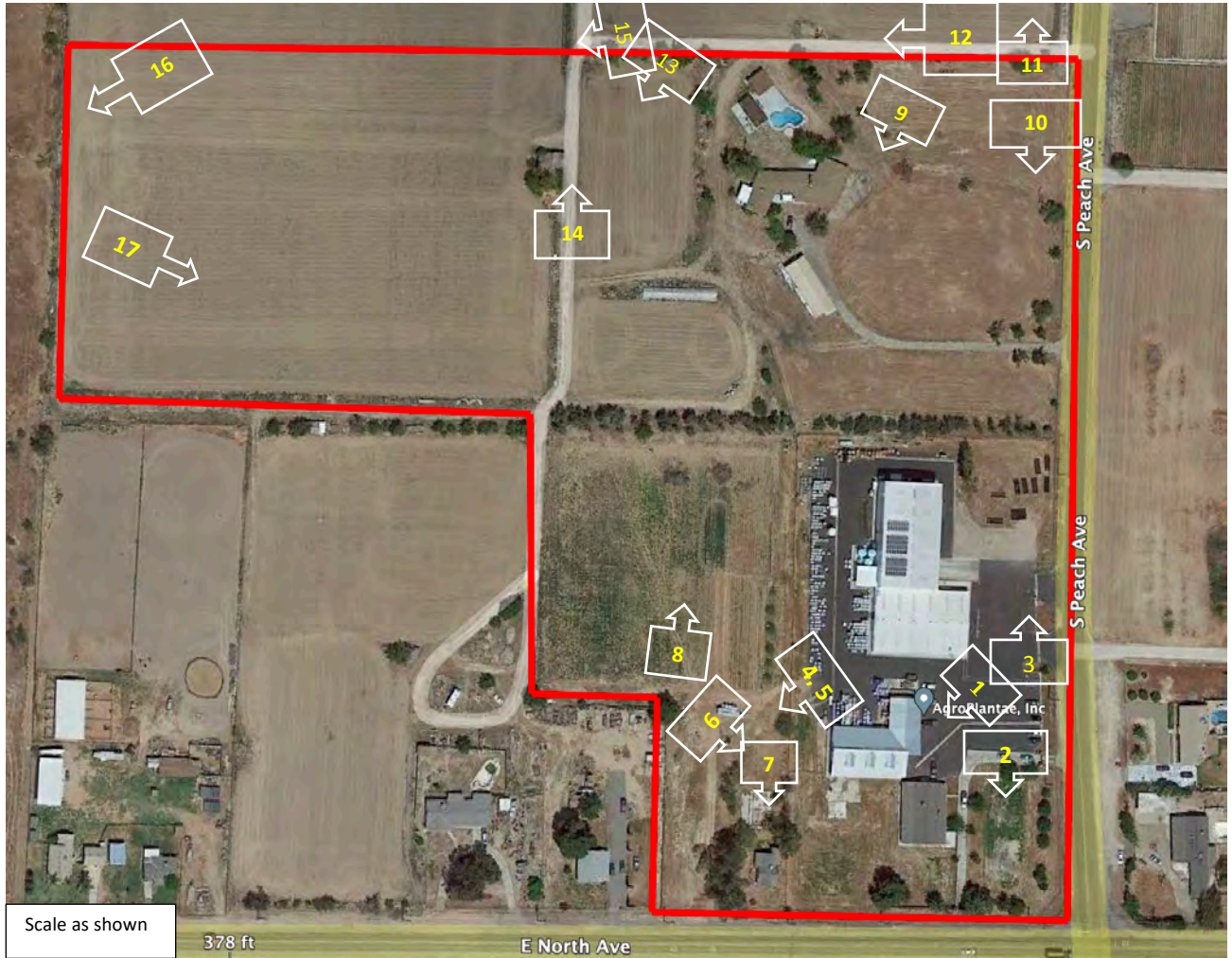
U.S. Fish and Wildlife Service. Information for Planning and Consultation (IPaC). Available at URL: <https://ipac.ecosphere.fws.gov/>

U.S. Fish and Wildlife Service, National Wetland Inventory Maps. Available at URL: <https://www.fws.gov/wetlands/data/mapper.html>

U.S. Geologic Survey, Historic topographic Map, Malaga Quadrangle, 1919, University of Texas, Austin, Perry-Castañeda Map Collection. Available at: URL: <https://legacy.lib.utexas.edu/maps/>

*Attachment A: Photographs*





## Photograph Key

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## ***Photographic Documentation***

Photographs: June 19, 2023

Project: S. Peach Avenue at E. North Avenue



### **Photograph 1**

Existing AgroPlante office in the southeast corner of the Study Area.



### **Photograph 2**

View of southern end of Study Area looking south. S. Peach Avenue to the left.



## ***Photographic Documentation***

**Photographs:** June 19, 2023

**Project:** S. Peach Avenue at E. North Avenue



### **Photograph 3**

Typical view of industrial parking lot in the southeast corner of the Study Area.



### **Photograph 4**

View looking south toward E. North Avenue behind business office.



***Photographic Documentation***

Photographs: June 19, 2023

Project: S. Peach Avenue at E. North Avenue



**Photograph 5**

Storage area behind  
AgroPlantae office.



**Photograph 6**

View looking southeast  
behind ArgoPlantae office  
building.



## ***Photographic Documentation***

Photographs: June 19, 2023

Project: S. Peach Avenue at E. North Avenue



### **Photograph 7**

View looking south toward E. North Avenue at southern end of Study Area.



### **Photograph 8**

View of western side of Study Area looking northeast. Agrolante building (white) in background.



Photographs: June 19, 2023

Project: S. Peach Avenue at E. North Avenue



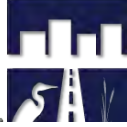
**Photograph 9**

View of vacant home front yard,  
looking south.



**Photograph 10**

View looking east across  
front yard of vacant  
residential home north of  
the AgroPlante buildings.



## ***Photographic Documentation***

Photographs: June 19, 2023

Project: S. Peach Avenue at E. North Avenue



### **Photograph 11**

View looking north along eastern edge of Study Area (S. Peach Avenue to the right).



### **Photograph 12**

View looking northwest across agricultural field.



Photographs: June 19, 2023

Project: S. Peach Avenue at E. North Avenue



**Photograph 13**

View of agricultural land.



**Photograph 14**

View looking north along  
internal farm road.





Photographs: June 19, 2023

**Project: S. Peach Avenue at E. North Avenue**



**Photograph 15**

View looking west along the northern Study Area boundary looking along access road.



Photographs: June 19, 2023

**Project: S. Peach Avenue at E. North Avenue**



**Photograph 16**

Western edge of Study Area, looking south along hedgerow.



**Photograph 17**

View of agricultural field, looking south.



# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

DATE: June 17, 2020

TO: Development Services and Capital Projects, Attn: William M. Kettler, Division Manager  
Development Services and Capital Projects, Attn: Chris Motta, Principal Planner  
Development Services and Capital Projects, Current Planning, Attn: David A. Randall, Senior Planner  
Development Services and Capital Projects, Policy Planning, ALCC, Attn: Mohammad Khorsand, Senior Planner  
Development Services and Capital Projects, Zoning & Permit Review, Attn: Daniel Gutierrez; James Anders  
Development Services and Capital Projects, Site Plan Review, Attn: Hector Luna  
Development Services and Capital Projects, Building & Safety/Plan Check, Attn: Dan Mather  
Development Engineering, Attn: Laurie Kennedy, Grading/Mapping  
Road Maintenance and Operations, Attn: Wendy Nakagawa; Nadia Lopez  
Design Division, Transportation Planning, Attn: Brian Spaunhurst  
Water and Natural Resources Division, Attn: Glenn Allen, Division Manager  
Department of Public Health, Environmental Health Division, Attn: Deep Sidhu/ Steven Rhodes  
Agricultural Commissioner, Attn: Rusty Lantsberger  
City of Fresno, Planning & Development Department, Attn: Jennifer Clark  
City of Fresno, Department of Public Utilities, Attn: Michael Garbajal  
City of Fresno, Traffic Engineering, Attn: Jill Gormley  
Malaga County Water District (Provost & Pritchard), Attn: Michael Taylor  
Malaga County Water District (General Manager), Attn: Jennifer Ahl  
CA Regional Water Quality Control Board, Attn: centralvalleyfresno@waterboards.ca.gov  
CA Department of Transportation (CALTRANS), Attn: Dave Padilla  
CA Department of Fish and Wildlife, Attn: [R4CEQA@wildlife.ca.gov](mailto:R4CEQA@wildlife.ca.gov)  
US Fish & Wildlife Service, Attn Mathew Nelson  
State Department of Health Services, Office of Drinking Water, Fresno District, Attn: Caitlin Juarez  
Dumna Wo Wah Tribal Government, Attn: Robert Ledger, Tribal Chairman/Eric Smith, Cultural Resources Manager/Chris Acree, Cultural Resources Analyst  
Picayune Rancheria of the Chuckchansi Indians, Attn: Heather Airey, THPO/Cultural Resources Director  
Santa Rosa Rancheria Tachi Yokut Tribe, Attn: Ruben Barrios, Tribal Chairman/Shana Powers, Cultural Specialist II  
Table Mountain Rancheria, Attn: Robert Pennell, Cultural Resources Director  
San Joaquin Valley Unified Air Pollution Control District (PIC-CEQA Division), Attn: PIC Supervisor  
North King GSA, Attn: Kassy D. Chauhan  
Fresno Irrigation District, Attn: [Engr-Review@fresnoirrigation.com](mailto:Engr-Review@fresnoirrigation.com)  
Fresno County Fire Protection District, Attn: Jim McDougald, Division Chief

FROM: Ejaz Ahmad, Planner   
Development Services and Capital Projects Division

SUBJECT: Initial Study Application No. 7879; Amendment Application No. 3842; Classified  
Conditional Use Permit Application No. 3682

APPLICANT: Paolucci Angelo and Rosanna Dilallo

DUE DATE: July 1, 2020

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject applications proposing to allow rezone of three contiguous parcel totaling 23.6 acres from the AL-20 Zone District to the M-3 Zone District and allow the expansion of an existing inorganic fertilizer manufacturing facility on a 4.12-acre parcel onto the subject parcels.

The Department is also reviewing for environmental effects, as mandated by the California Environmental Quality Act (CEQA) and for conformity with plans and policies of the County.

Based upon this review, a determination will be made regarding conditions to be imposed on the project, including necessary on-site and off-site improvements.

We must have your comments by **July 1, 2020**. Any comments received after this date may not be used.

**NOTE - THIS WILL BE OUR ONLY REQUEST FOR WRITTEN COMMENTS. If you do not have comments, please provide a "NO COMMENT" response to our office by the above deadline (e-mail is also acceptable; see email address below).**

Please address any correspondence or questions related to environmental and/or policy/design issues to me, Ejaz Ahmad, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or call (559) 600-4204, or email eahmad@fresnocountyca.gov.

EA:  
G:\4360Devs&Pln\PROJSEC\PROJDOCS\AA\3800-3899\3842 - SEE CUP 3682\ROUTING\AA 3842 Routing Ltr.doc

*Activity Code (Internal Review): 2381*

Enclosures



Fresno County Department of Public Works and Planning

Date Received: 06/16/2020

AA 3842  
CUP 3682

(Application No.)

MAILING ADDRESS:  
Department of Public Works and Planning  
Development Services Division  
2220 Tulare St., 6<sup>th</sup> Floor  
Fresno, Ca. 93721

LOCATION:  
Southwest corner of Tulare & "M" Streets, Suite A  
Street Level  
Fresno Phone: (559) 600-4497  
Toll Free: 1-800-742-1011 Ext. 0-4497

APPLICATION FOR:

- Pre-Application (Type)
- Amendment Application
  - Director Review and Approval
  - for 2<sup>nd</sup> Residence
- Conditional Use Permit
  - Determination of Merger
- Variance (Class )/Minor Variance
  - Agreements
- Site Plan Review/Occupancy Permit
  - ALCC/RLCC
- No Shoot/Dog Leash Law Boundary
  - Other Rezoning
- General Plan Amendment/Specific Plan/SP Amendment
- Time Extension for \_\_\_\_\_

DESCRIPTION OF PROPOSED USE OR REQUEST:

Amendment application to rezone parcel from AL-20 to M-3 zone District and Conditional Use permit to allow the expansion of an inorganic fertilizer manufacturing facility onto the subject parcels.

CEQA DOCUMENTATION:  Initial Study  PER  N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. Attach Copy of Deed, including Legal Description.

LOCATION OF PROPERTY: West side of S. Peach Ave.  
between E. North Ave. and E. Annadale Ave.  
Street address: 2948 S. Peach Ave.

APN: 316-071-75 Parcel size: 19.65 Section(s)-Twp/Rg: S 19 - T 14 S/R 21 E

ADDITIONAL APN(s): 316-071-36 & 38 & 37

I, Angelo Paolucci (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

Owner (Print or Type) Angelo Paolucci Address 12716 E Sierra Ave. City Clovis Zip 93619 Phone 559-324-7830

Applicant (Print or Type) same as above Address \_\_\_\_\_ City \_\_\_\_\_ Zip \_\_\_\_\_ Phone \_\_\_\_\_

Representative (Print or Type) Al Solis Address 906 "N" St. #100 City Fresno CA Zip 93721 Phone 559-709-0805

CONTACT EMAIL:

OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

Application Type / No.:	AA3842; CUP 3682	Fee: \$ 8,500. <sup>00</sup>
Application Type / No.:		Fee: \$
Application Type / No.:		Fee: \$
Application Type / No.:		Fee: \$
PER/Initial Study No.:	IS 7879	Fee: \$ 3,901. <sup>88</sup>
Ag Department Review:		Fee: \$ 93. <sup>00</sup>
Health Department Review:		Fee: \$ 1,375. <sup>00</sup>
Received By: <u>EJAZ</u>	Invoice No.:	TOTAL: \$ 13,870. <sup>00</sup>

UTILITIES AVAILABLE:

WATER: Yes  / No   
Agency: \_\_\_\_\_

SEWER: Yes  / No   
Agency: \_\_\_\_\_

STAFF DETERMINATION: This permit is sought under Ordinance Section: \_\_\_\_\_ Sect-Twp/Rg: \_\_\_\_\_ - T \_\_\_\_\_ S/R \_\_\_\_\_ E

Related Application(s): CUP 3406  
Zone District: M-3 & AL-20  
Parcel Size: 23.6 ACRES

APN # \_\_\_\_\_

APN # \_\_\_\_\_

APN # \_\_\_\_\_

APN # \_\_\_\_\_



Development Services  
and  
Capital Projects Division

Mail To:  
906 "N" Street, Ste. 100  
Fresno, CA 93721

# Pre-Application Review

Department of Public Works and Planning

NUMBER: 39679  
APPLICANT: Al Solis, AICP  
PHONE: (559) 497-1900

Email: al@soldevelopment.com

PROPERTY LOCATION: 2976 S. Peach Ave.  
APN: 316 - 071 - 36,37,38,75 ALCC: No  Yes  VIOLATION NO. None  
CNEL: No  Yes (level) LOW WATER: No  Yes WITHIN 1/2 MILE OF CITY: No Yes   
ZONE DISTRICT: M3, AL-20; SRA: No  Yes HOMESITE DECLARATION REQ'D.: No  Yes  
LOT STATUS:

Zoning: (X) Conforms; (X) Legal Non-Conforming lot; ( ) Deed Review Req'd (see Form #236)

Merger: May be subject to merger: No  Yes ZM# Initiated In process

Map Act: ( ) Lot of Rec. Map; ( ) On '72 rolls; (X) Other History; ( ) Deeds Req'd (see Form #236)

SCHOOL FEES: No  Yes DISTRICT: Fowler USD PERMIT JACKET: No Yes

FMFCD FEE AREA: ( ) Outside (X) District No.: CU FLOOD PRONE: No  Yes

PROPOSAL AA to re-zone parcels 316-071-36, 38, & 75 from AL-20 to M3 Zone District & CUP to allow the expansion of an Inorganic Fertilizer Manufacturing, Storage and Sales Facility to all parcels (Concurrent AA & CUP).

CUP-3406 previously approved use on parcel 316-071-37. Zoning acknowledged parcels 316-071-39, 46, 47 (currently

COMMENTS: known as APN: 316-071-75) as one parcel and a merger is not required. (NO GPA REQ'D. The property is

ORD. SECTION(S): 845.3, 23, 845.5, 817.5 BY: Daniel Gutierrez DATE: 4/10/2019

Cede signated as Limited Industrial (Reserve) in the County-adopted Roosevelt Community Plan

**GENERAL PLAN POLICIES:**

LAND USE DESIGNATION: Reserve (Limited Industrial) & Limited Industrial )GPA:

COMMUNITY PLAN: Roosevelt ( ) AA: 7

REGIONAL PLAN: ( ) CUP: 1 \$ 8,501.00

SPECIFIC PLAN: ( ) DRA: (Combo)

SPECIAL POLICIES: ( ) VA:

SPHERE OF INFLUENCE: ( ) AT:

ANNEX REFERRAL (LU-G17/MOU): ( ) JT:

**PROCEDURES AND FEES:**

( ) MINOR VA:

( ) HD: \$ 1,375.00

( ) AG COMM: \$ 93.00

( ) ALCC:

( ) IS/PER\*: \$ 3,901.00

( ) Viol. (35%):

( ) Other:

Filing Fee: \$ 13,870.00

Pre-Application Fee: - \$ 247.00

Total County Filing Fee: \$ 13,623.00

COMMENTS:

**FILING REQUIREMENTS:**

- () Land Use Applications and Fees
- () This Pre-Application Review form
- () Copy of Deed / Legal Description
- () Photographs
- ( ) Letter Verifying Deed Review
- () IS Application and Fees\* \* Upon review of project materials, an Initial Study (IS) with fees may be required.
- () Site Plans - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- () Floor Plan & Elevations - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- () Project Description / Operational Statement (Typed)
- ( ) Statement of Variance Findings
- ( ) Statement of Intended Use (ALCC)
- ( ) Dependency Relationship Statement
- () Resolution/Letter of Release from City of Fresno

**OTHER FILING FEES:**

- ( ) Archaeological Inventory Fee: \$75 at time of filing (Separate check to Southern San Joaquin Valley Info. Center)
- () CA Dept. of Fish & Wildlife (CDFW): (\$50) (\$50+\$2,354.75) (Separate check to Fresno County Clerk for pass-thru to CDFW. Must be paid prior to IS closure and prior to setting hearing date.)

BY: Al Solis Referral Letter # 1012  
EJAZ  
ANMAD DATE: 04/22/19  
PHONE NUMBER: (559) 600-4204

**NOTE: THE FOLLOWING REQUIREMENTS MAY ALSO APPLY:**

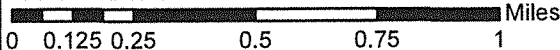
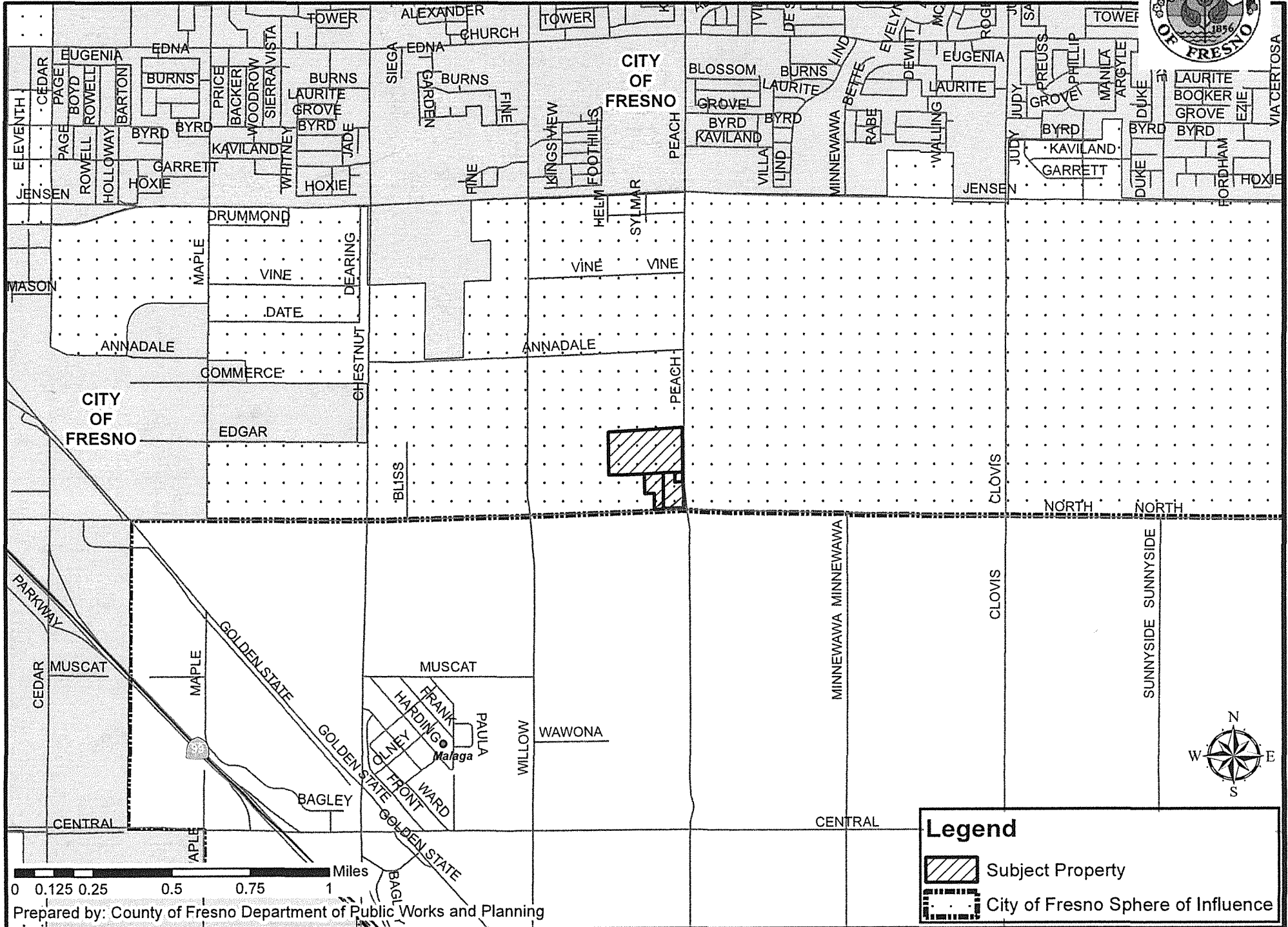
- ( ) COVENANT
- ( ) MAP CERTIFICATE
- ( ) PARCEL MAP
- ( ) FINAL MAP
- ( ) FMFCD FEES
- ( ) ALUC or ALCC
- () SITE PLAN REVIEW
- () BUILDING PLANS
- () BUILDING PERMITS
- ( ) WASTE FACILITIES PERMIT
- () SCHOOL FEES
- ( ) OTHER (see reverse side)

PLU # 113 Fee: \$247.00

Note: This fee will apply to the application fee if the application is submitted within six (6) months of the date on this receipt.



OVER.....

# LOCATION MAP



Prepared by: County of Fresno Department of Public Works and Planning

**Legend**

-  Subject Property
-  City of Fresno Sphere of Influence

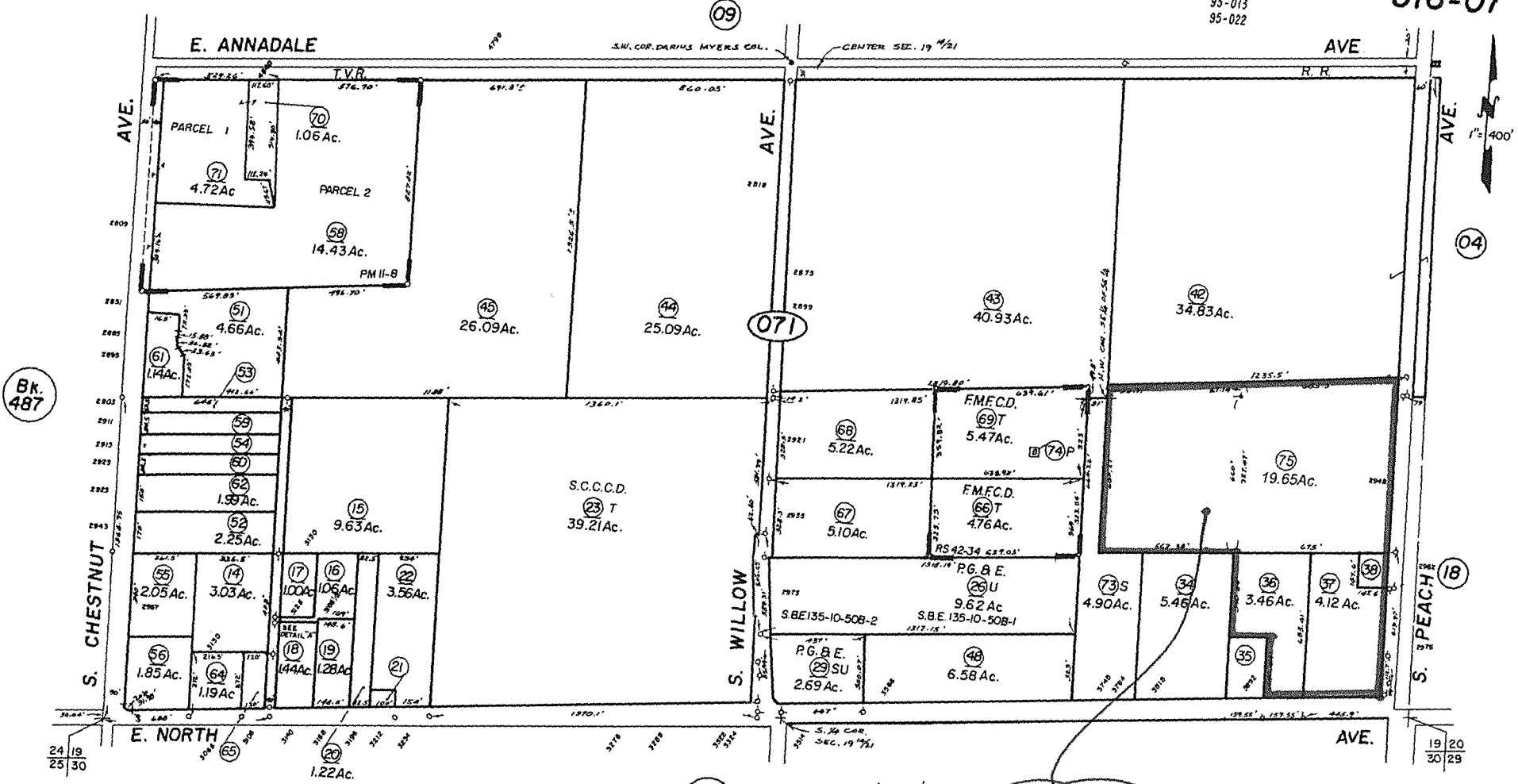


NOTE ---  
 This map is for Assessment purposes only.  
 It is not to be construed as portraying  
 legal ownership or divisions of land for  
 purposes of zoning or subdivision law.

SUBDIVIDED LAND IN POR. SEC. 19, T.14 S., R. 21 E., M. D. B. & M.

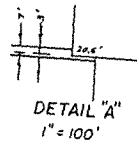
Tax Rate Area  
 95-011  
 95-013  
 95-022

316-07



Bk. 487

Bk. 331



PROJECT SITE

Agricultural Preserve  
 Parcel Map No. 1710, Bk. II, Pg. 8  
 Record of Survey - Bk. 42, Pg. 34

H 05-06-2020 NCW 20R

NOTE - Assessor's Block Numbers Shown in Ellipses.  
 Assessor's Parcel Numbers Shown in Circles.

Assessor's Map Bk. 316 - Pg. 07  
 County of Fresno, Calif.





# County of Fresno

Classified Conditional Use Permit Application No. -----

Initial Study Application No. -----

Operational Statement

**AgroPlantae, Inc.**

2976 S. Peach Avenue, Fresno

AA3842  
CUP 3682-  
RECEIVED  
COUNTY OF FRESNO  
JUN 10 2020  
DEPARTMENT OF PUBLIC WORKS  
AND PLANNING  
DEVELOPMENT SERVICES DIVISION

## 1. Nature of the operation--what do you propose to do? Describe in de tail:

The proposed business operations for AgroPlantae, Inc. at the above location will include expansion of buildings for the manufacturing of inorganic fertilizer products, storage of raw materials, storage and shipping of finished products, administration offices, internal laboratory for quality control and a two residence for a caretakers.

The primary operation will consist of two fertilizer manufacture blending lines; one for liquids and another for powders. All liquid raw materials will be purchased from producers and delivered in bulk containers such as 4200 gallons tanks, 1 265 gallons totes and 55 gallons drums and 2 x2.5 Gal cases. Dry materials will be delivered in large 1 ton sacks and 55 lb. bags. Based upon specific formulas, some dry materials will be dissolved and blended with liquids and others will be blended and remain in a dry form. Liquid products are mainly sold in 2.5 gallons jugs in boxes of 2- and 265-gallons totes. Powders are mainly sold in 5 lbs. and 25 lbs. bags.

## 2. Operational time limits:

The company will operate year-round with a peak season from February through July. Daily business hours will be from Monday to Friday, 8 am to 5 pm, 8 hours per day. All activities will be conducted indoors.

## 3. Number of customers or visitors:

Typical customers are medium and large distributors that are usually contacted through site visits and sales calls. Customer visits to the plant would be exceptional occasions at an average rate of approximately 1 per month. Shipments and deliveries will be performed from 8:00 am to 4.30 pm at rate of approximately 1 per day in the off-season and a maximum of 6 per day in the peak season.



**4. Number of employees:**

When the plant is operational, the number of employees will be 15-25, 8 hours per day from 8:00 am to 5.00 pm. One or two employees may live on site as a caretaker in the existing two houses.

**5. Service and delivery vehicles:**

Material deliveries will be made with 40 ft. container trucks and some smaller trucks from local suppliers.

**6. Access to the site:**

Access to the site will be from South Peach Avenue which is a paved public road currently maintained by Fresno County.

**7. Number of parking spaces for employees, customers, and service/delivery vehicles.**

Total paved parking spaces on site will be more than 60; which are plenty for employees and for visitors/customers.

**8. Are any goods to be sold on-site? If so, are these goods grown or produced on-site or at some other location?**

No goods or products will be sold directly on-site. Company sales representatives will contact distributors at their main headquarters and branches to make sales. These are typically a manufacturing and shipping facility location.

**9. What equipment is used?**

Equipment used for liquids are 500-6000 gallon stainless and polypropylene tanks mostly containing agitation devices for blending. Tanks containing raw materials are connected to a piping system which pumps the required quantity into 500-3000 gallons blender tanks with agitation. The tanks with agitation will also be connected to a hot water heater to allow faster solution blending of certain dry soluble raw materials. Once the final solution is obtained, most of the products will be packaged in 2.5 gallons jugs in boxes of two, stacked on pallets of 36 boxes (180 gallons) and shrink wrapped for shipping. Some products will be packaged in 265 gallons totes and occasionally, if to be sold in bulk, would be pumped into a 4000 gallons tank truck.

For the powder products, raw materials in 55 lb. sacks or large sacks of 2000 lb. are dosed and loaded into a ribbon blender and when properly blended will be packaged in 5 to 25 lb. bags. The majority of these products will be packaged in 25 lb. bags stacked on pallets of 80 bags (2000 lbs.) and shrink wrapped for shipping.



Finished goods will be stored in dedicated areas inside a building and when readied for shipping will be loaded with forklifts into trucks.

#### **10. What supplies or materials are used and how are they stored?**

All raw materials used in production of products will be secured inside buildings on the fenced site in quantities legally allowed by the DHS (Department of Homeland Security), and stored per a HMBP (Hazardous Materials Business Plan) per Fresno County and CalFire requirements. The existing main building has a sprinkler system and wireless fire alarm system connected to the fire department. This building also has the alarm system connected 24/7 to SAFECO Alarm Company. It is also monitored with video cameras viewed from inside the office and from any remote company PC and Smart Phone.

Materials used are: Amino Acids, Ammonium Molibdate, Ammonium Nitrate, Boric Acid, Calcium Chloride, Calcium EDTA, Calcium Lignosulphonate, Calcium Nitrate, Citric Acid, Copper Chloride, Copper EDTA, Copper Nitrate, Copper Sulfate, Di-Ammonium Phosphate, Humic Acids, Iron Chloride, Iron DTPA, Iron EDDHA, Iron EDTA, Iron Sulfate, Magnesium EDTA, Magnesium Nitrate, Magnesium Sulfate, Manganese EDTA, Manganese Nitrate, Manganese Sulfate, Monoammonium Phosphate, Monopotassium Phosphate, Phosphoric Acid, Phosphorous Acid, Potassium Carbonate, Potassium Chloride, Potassium Hydroxide, Potassium Nitrate, Seaweed, Urea, Urea low Biuret, Zinc Chloride, Zinc EDTA, Zinc Nitrate, Zinc Sulfate.

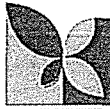
#### **11. Does the use cause an unsightly appearance?**

All production activities will take place inside buildings and will develop no outdoor noise, glare, dust or odor. All raw materials and finished products will be contained inside buildings.

#### **12. List any solid or liquid wastes to be produced:**

There will be 0.5-2 tons per year of dry waste stored in sacks and 500 to 1000 gallons of liquid waste stored in 265 gallons totes. Removal will be done semi-annually under contract with an appropriate disposal company.

Groundwater Pollution will be prevented by reducing, reusing and recycling practices. Feed stock, final products and waste materials will be stored inside the buildings in approved containers. The blending process will basically avoid handling materials which generate by-product waste through the purchase and utilization of semi-finished raw products which have already been processed. Best practices will be applied to generate the least amount of rinse water possible which will then be reutilized entirely to make the next batch of the same product. Operational procedures will include taking necessary steps to avoid any product spillage coming in contact with the soil by the design and installation of containment basins with curbs inside the buildings in specific areas with permanent tanks and by providing ramps for forklifts over the curbs. Some of larger tanks will have double containment to retain any spillage. In addition to all raw materials and finished products being stored inside buildings, areas surrounding the buildings will be paved to further prevent any raw materials, finished products and waste materials from coming in contact with the soil.



**13. Estimated volume of water to be used (gallons per day).**

Water utilized will be 1000-4000 gallons per day from the water well currently available on the property.

**14. Describe any proposed advertising including size, appearance, and placement.**

Signage will be a 4 ft. x 8 ft. company logo attached to the building.

**15. Will existing buildings be used or will new buildings be constructed?**

The two existing buildings will be used as storage for raw materials and finished packaged products and blending. A new metal building will be built to house all blending operations and warehousing raw materials and finished products.

**16. Explain which buildings or what portion of buildings will be used in the operation.**

The existing larger two building with fire sprinklers will be used for storage of raw materials, finished products and manufacturing. The existing smaller building will be used as storage for plastic jugs, totes and other packaging materials. The office will be utilized for administration. The existing house on the property will be utilized for a caretaker. The new metal building to be constructed will be utilized for storage of raw materials and manufacturing. The laboratory will be utilized for quality control of the materials received and the final blends to be sold.

**17. Will any outdoor lighting or an outdoor sound amplification system be used?**

There will be outdoor security lights and no outdoor amplification system will be used.

**18. Landscaping or fencing proposed? Describe type and location.**

Fencing will be metal chain-link surrounding the entire property.

**19. Any other information that will provide a clear understanding of the project or operation.**

None at this time

**20. Identify all Owners, Officers and/or Board Members for each application submitted.**

Angelo Paolucci (President-CEO), Rosanna Di Lallo (CFO)



# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

## INITIAL STUDY APPLICATION

### INSTRUCTIONS

Answer all questions completely. An incomplete form may delay processing of your application. Use additional paper if necessary and attach any supplemental information to this form. Attach an operational statement if appropriate. This application will be distributed to several agencies and persons to determine the potential environmental effects of your proposal. Please complete the form in a legible and reproducible manner (i.e., USE BLACK INK OR TYPE).

OFFICE USE ONLY	
IS No.	<u>7879</u>
Project No(s).	<u>AA3042</u> <u>CUP 3002</u>
Application Rec'd.	<u>06/10/2020</u>

### GENERAL INFORMATION

- Property Owner: Angelo Paolucci & Rosanna D. Lalw Phone/Fax: 498-0388

Mailing Address: 1865 Herndon Ave. Suite #K321 Clovis CA 93611

*Street City State/Zip*
- Applicant: Alvin P. Solis Phone/Fax: 497-1900

Mailing Address: 906 "N" Street, Suite 100 Fresno CA 93721

*Street City State/Zip*
- Representative: As above Phone/Fax: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

*Street City State/Zip*
- Proposed Project: Expansion of an Inorganic Fertilizer Manufacturing Storage and Sales Facility

\_\_\_\_\_

\_\_\_\_\_
- Project Location: West side of Peach Avenue between E. North Ave. and E. Annadale Ave.

\_\_\_\_\_
- Project Address: 2948 S. Peach Ave.
- Section/Township/Range: 19 /14 /21 8. Parcel Size: 19.65 +
- Assessor's Parcel No. 316-071-<sup>7</sup>35 & 316-071-36 & 38 & 37 OVER.....

DEVELOPMENT SERVICES AND CAPITAL PROJECTS DIVISION  
2220 Tulare Street, Sixth Floor / Fresno, California 93721 / Phone (559) 600-4497 / 600-4022 / 600-4540 / FAX 600-4200  
The County of Fresno is an Equal Employment Opportunity Employer

RECEIVED  
COUNTY OF FRESNO

JUN 10 2020

DEPARTMENT OF PUBLIC WORKS  
AND PLANNING  
DEVELOPMENT SERVICES DIVISION

10. Land Conservation Contract No. (If applicable): N/A

11. What other agencies will you need to get permits or authorization from:

<input type="checkbox"/>	LAFCo (annexation or extension of services)	<input checked="" type="checkbox"/>	SJVUAPCD (Air Pollution Control District)
<input type="checkbox"/>	CALTRANS	<input type="checkbox"/>	Reclamation Board
<input type="checkbox"/>	Division of Aeronautics	<input type="checkbox"/>	Department of Energy
<input checked="" type="checkbox"/>	Water Quality Control Board	<input type="checkbox"/>	Airport Land Use Commission
<input type="checkbox"/>	Other _____		

12. Will the project utilize Federal funds or require other Federal authorization subject to the provisions of the National Environmental Policy Act (NEPA) of 1969?  Yes  No

If so, please provide a copy of all related grant and/or funding documents, related information and environmental review requirements.

13. Existing Zone District<sup>1</sup>: M-3, AL-20

14. Existing General Plan Land Use Designation<sup>1</sup>: Reserve (Limite Ind.) & Limited Ind.

**ENVIRONMENTAL INFORMATION**

15. Present land use: Ag., 2 Resid.  
Describe existing physical improvements including buildings, water (wells) and sewage facilities, roads, and lighting. Include a site plan or map showing these improvements:

\_\_\_\_\_

Describe the major vegetative cover: \_\_\_\_\_

Any perennial or intermittent water courses? If so, show on map: No

Is property in a flood-prone area? Describe:

No

16. Describe surrounding land uses (e.g., commercial, agricultural, residential, school, etc.):

North: Ag., Ind., Rural Resid.

South: Ind.

East: Covel. Home

West: Ag., Rural Resid.

17. What land use(s) in the area may be impacted by your Project?: N/A

18. What land use(s) in the area may impact your project?: N/A

19. Transportation:

NOTE: The information below will be used in determining traffic impacts from this project. The data may also show the need for a Traffic Impact Study (TIS) for the project.

A. Will additional driveways from the proposed project site be necessary to access public roads?  
 Yes  No

B. Daily traffic generation:

I. Residential - Number of Units	<u>N/A</u>
Lot Size	<u>28 Ac' (including all)</u>
Single Family	<u>N/A</u>
Apartments	<u>N/A</u>
II. Commercial - Number of Employees	<u>15-25</u>
Number of Salesmen	<u>3-5</u>
Number of Delivery Trucks	<u>1</u>
Total Square Footage of Building	<u>Existing + all new 28,000+ 380,000 sq. ft.</u>
III. Describe and quantify other traffic generation activities:	<u>From March to July, 4 times/week for</u> <u>the rest of the year 4 times/month.</u>

20. Describe any source(s) of noise from your project that may affect the surrounding area: N/A

21. Describe any source(s) of noise in the area that may affect your project: N/A

22. Describe the probable source(s) of air pollution from your project: N/A


23. Proposed source of water:

( ) private well

(X) community system<sup>3</sup>--name: Malaga Co Water District OVER.....

24. Anticipated volume of water to be used (gallons per day)<sup>2</sup>: 600 gal/day
25. Proposed method of liquid waste disposal:  
 septic system/individual  
 community system<sup>3</sup>-name Public sewer City of Fresno
26. Estimated volume of liquid waste (gallons per day)<sup>2</sup>: None
27. Anticipated type(s) of liquid waste: None
28. Anticipated type(s) of hazardous wastes<sup>2</sup>: None
29. Anticipated volume of hazardous wastes<sup>2</sup>: None
30. Proposed method of hazardous waste disposal<sup>2</sup>: None
31. Anticipated type(s) of solid waste: None
32. Anticipated amount of solid waste (tons or cubic yards per day): None
33. Anticipated amount of waste that will be recycled (tons or cubic yards per day): None
34. Proposed method of solid waste disposal: None
35. Fire protection district(s) serving this area: Cal Fire
36. Has a previous application been processed on this site? If so, list title and date: No
37. Do you have any underground storage tanks (except septic tanks)? Yes \_\_\_\_\_ No X
38. If yes, are they currently in use? Yes \_\_\_\_\_ No \_\_\_\_\_

TO THE BEST OF MY KNOWLEDGE, THE FOREGOING INFORMATION IS TRUE.

  
 \_\_\_\_\_  
 SIGNATURE

5-13-2020  
 \_\_\_\_\_  
 DATE

<sup>1</sup>Refer to Development Services and Capital Projects Conference Checklist

<sup>2</sup>For assistance, contact Environmental Health System, (559) 600-3357

<sup>3</sup>For County Service Areas or Waterworks Districts, contact the Resources Division, (559) 600-4259



## NOTICE AND ACKNOWLEDGMENT

### INDEMNIFICATION AND DEFENSE

The Board of Supervisors has adopted a policy that applicants should be made aware that they may be responsible for participating in the defense of the County in the event a lawsuit is filed resulting from the County's action on your project. You may be required to enter into an agreement to indemnify and defend the County if it appears likely that litigation could result from the County's action. The agreement would require that you deposit an appropriate security upon notice that a lawsuit has been filed. In the event that you fail to comply with the provisions of the agreement, the County may rescind its approval of the project.

### STATE FISH AND WILDLIFE FEE

State law requires that specified fees (effective January 1, 2019: \$3,271.00 for an EIR; \$2,354.75 for a Mitigated/Negative Declaration) be paid to the California Department of Fish and Wildlife (CDFW) for projects which must be reviewed for potential adverse effect on wildlife resources. The County is required to collect the fees on behalf of CDFW. A \$50.00 handling fee will also be charged, as provided for in the legislation, to defray a portion of the County's costs for collecting the fees.

The following projects are exempt from the fees:

1. All projects statutorily exempt from the provisions of CEQA (California Environmental Quality Act).
2. All projects categorically exempt by regulations of the Secretary of Resources (State of California) from the requirement to prepare environmental documents.

A fee exemption may be issued by CDFW for eligible projects determined by that agency to have "no effect on wildlife." That determination must be provided in advance from CDFW to the County at the request of the applicant. You may wish to call the local office of CDFW at (559) 222-3761 if you need more information.

Upon completion of the Initial Study you will be notified of the applicable fee. Payment of the fee will be required before your project will be forwarded to the project analyst for scheduling of any required hearings and final processing. The fee will be refunded if the project should be denied by the County.

  
\_\_\_\_\_  
Applicant's Signature

5-13-2020  
\_\_\_\_\_  
Date



2948 S Peach Ave

S Peach Ave

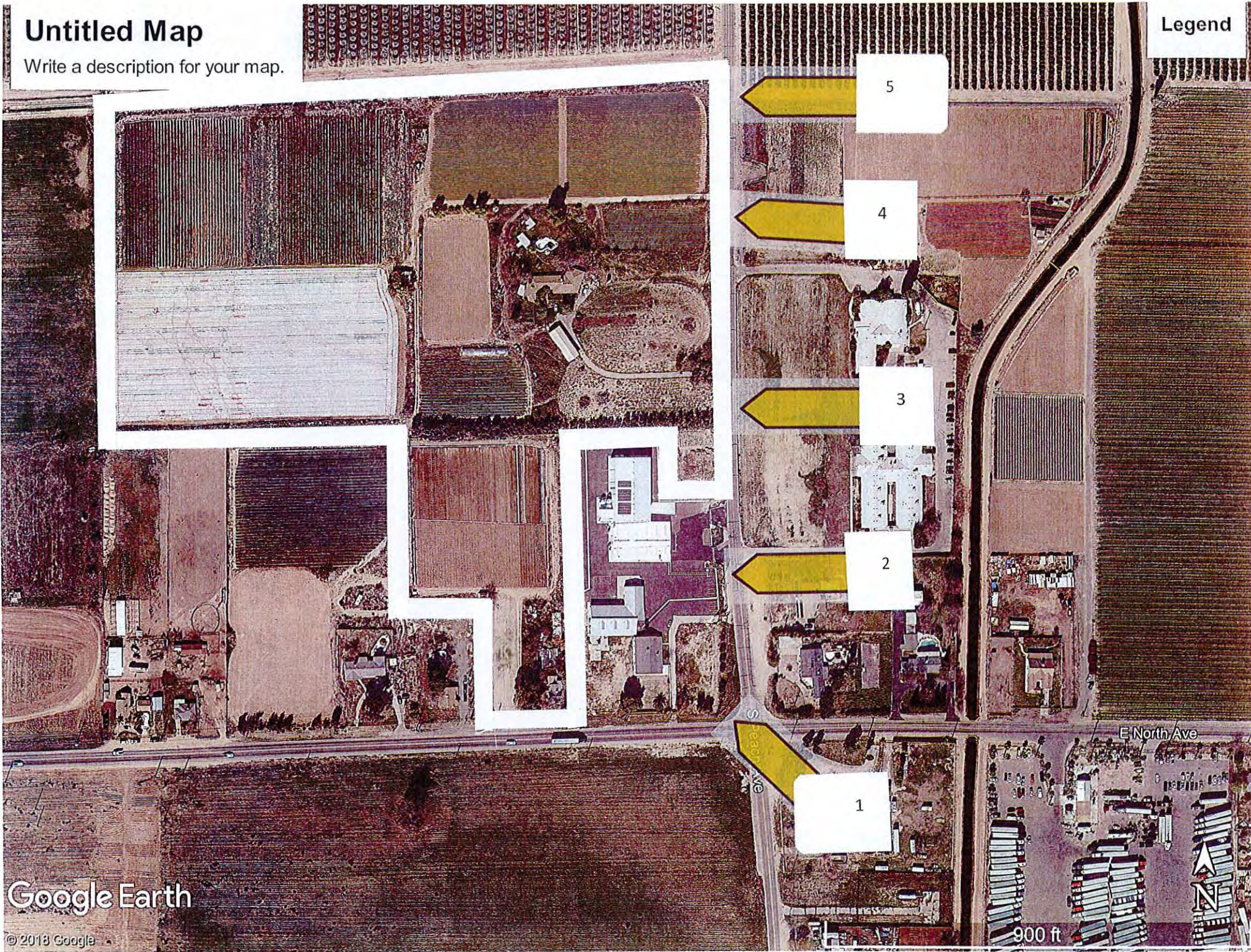
E North Ave



# Untitled Map

Write a description for your map.

Legend



Google Earth

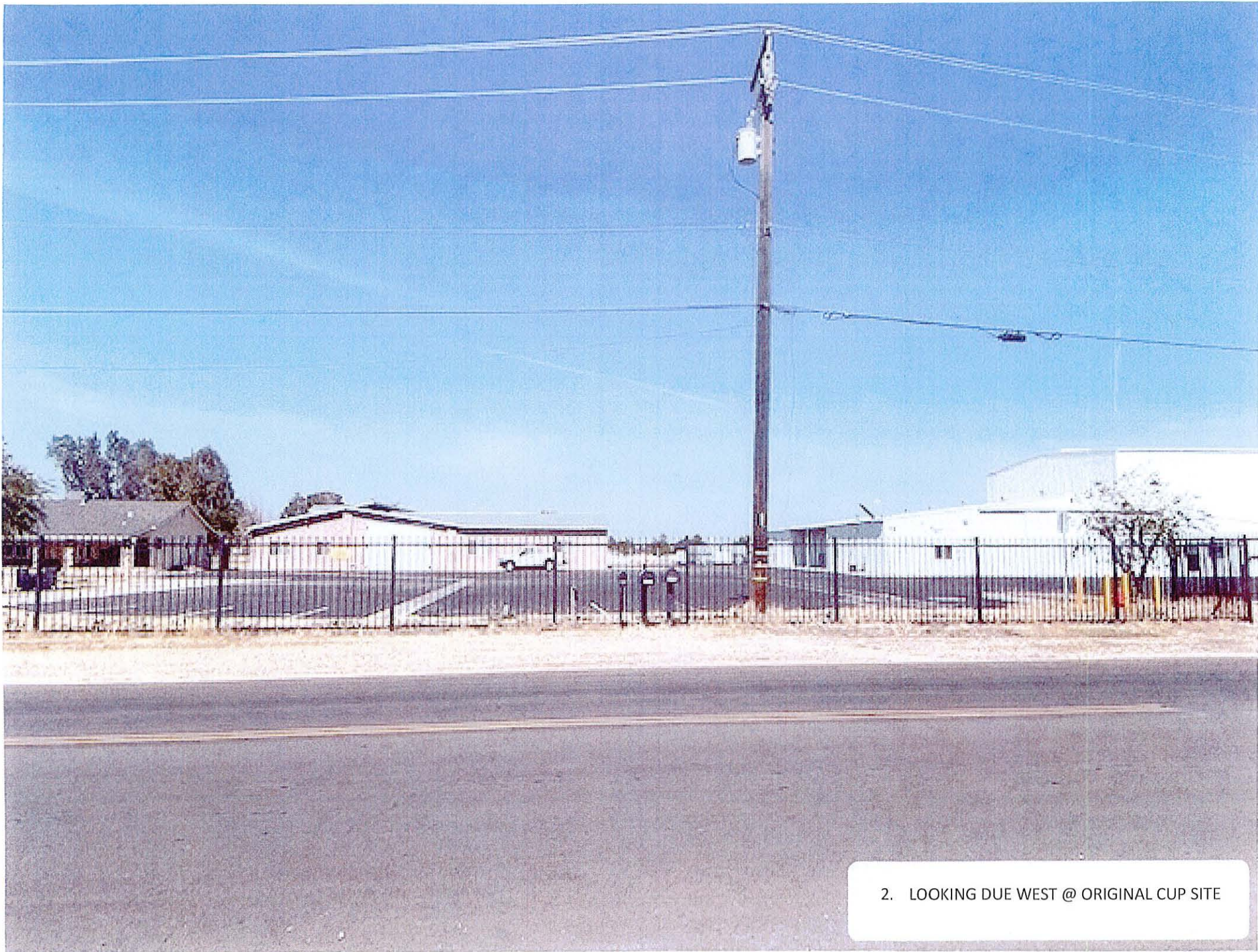
© 2018 Google

900 ft





1. LOOKING N.W. @ E. NORTH & S. PEACH AVENUES



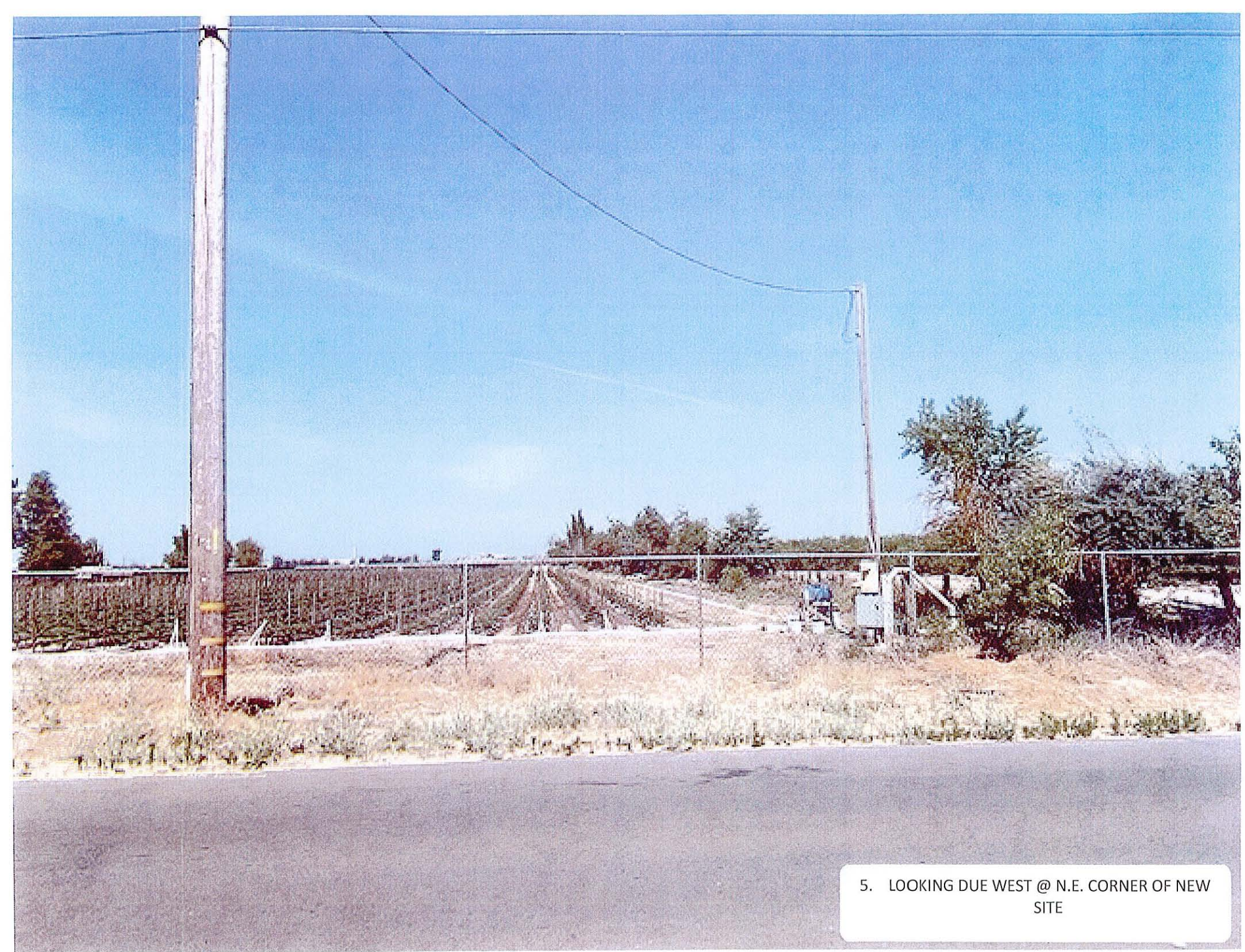
2. LOOKING DUE WEST @ ORIGINAL CUP SITE



3. LOOKING DUE WEST @ S.E. CORNER OF NEW SITE



4. LOOKING DUE WEST @ NEW SITE

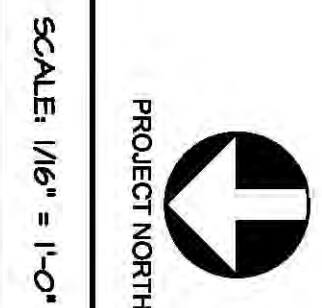
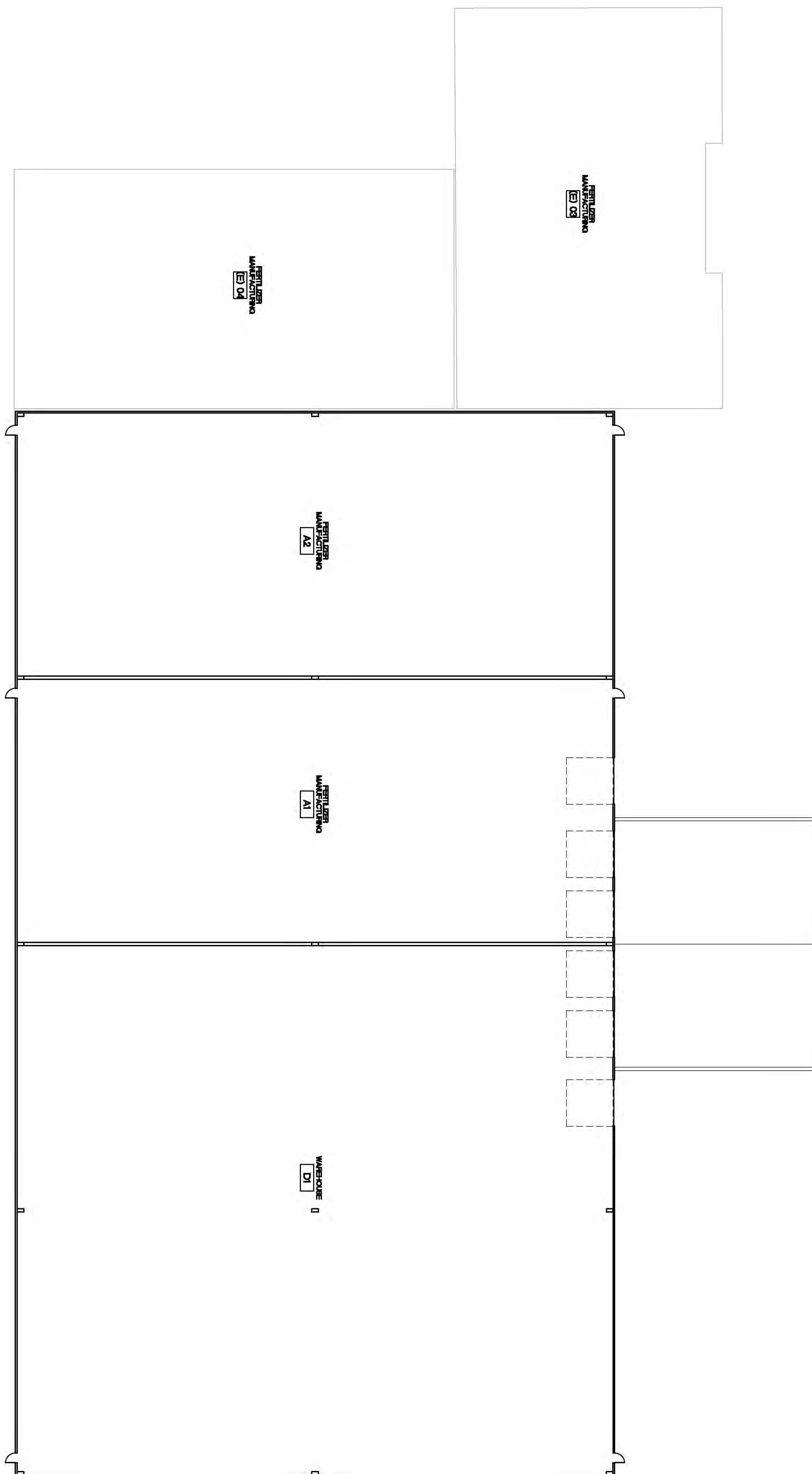


5. LOOKING DUE WEST @ N.E. CORNER OF NEW SITE





3/4/A1/A2/D1 SHELL BUILDING FLOOR PLAN



SCALE: 1/8" = 1'-0"

PROPOSED DEVELOPMENT:  
 AGROPLANTAE INC.  
 2976 SOUTH PEACH AVE.  
 FRESNO, CALIFORNIA 93725

3/4/A1/A2/D1 SHELL BUILDING FLOOR PLAN

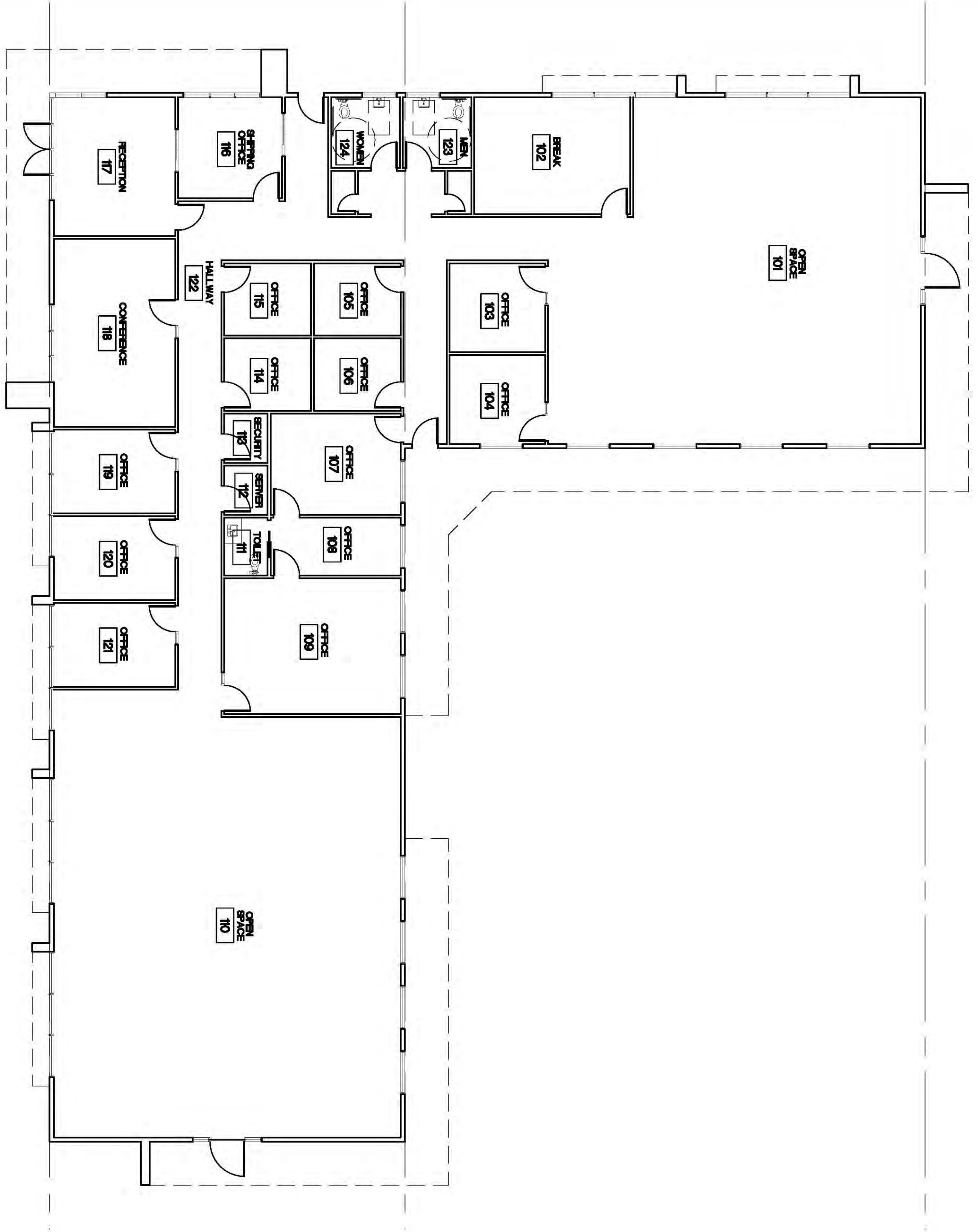
MARK	DATE	DESCRIPTION
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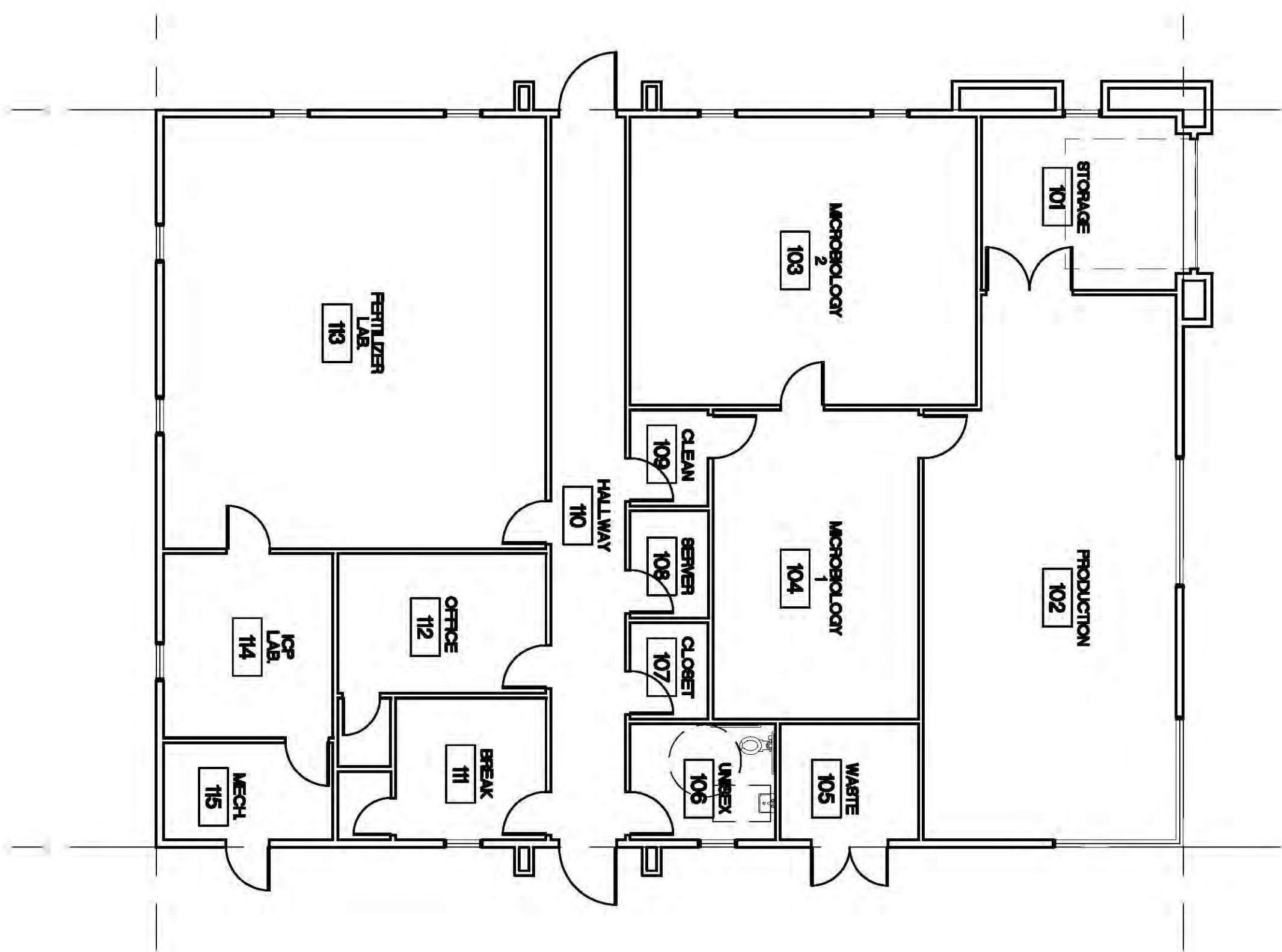
**THE TAYLOR GROUP ARCHITECTS**  
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OFFICE BUILDING - B1 - FIRST FLOOR PLAN



LABORATORY BUILDING C1 FIRST FLOOR PLAN



PLOT DATE:

FLOOR PLAN - B1 - C1 BUILDINGS

SCALE: 1/8" = 1'-0"



PROJECT NORTH

PROPOSED DEVELOPMENT:  
 AGROPLANTAE INC.  
 2976 SOUTH PEACH AVE.  
 FRESNO, CALIFORNIA 93725

B1 - C1 BUILDINGS - FIRST FLOOR PLAN

MARK	DATE	DESCRIPTION
△	-	-

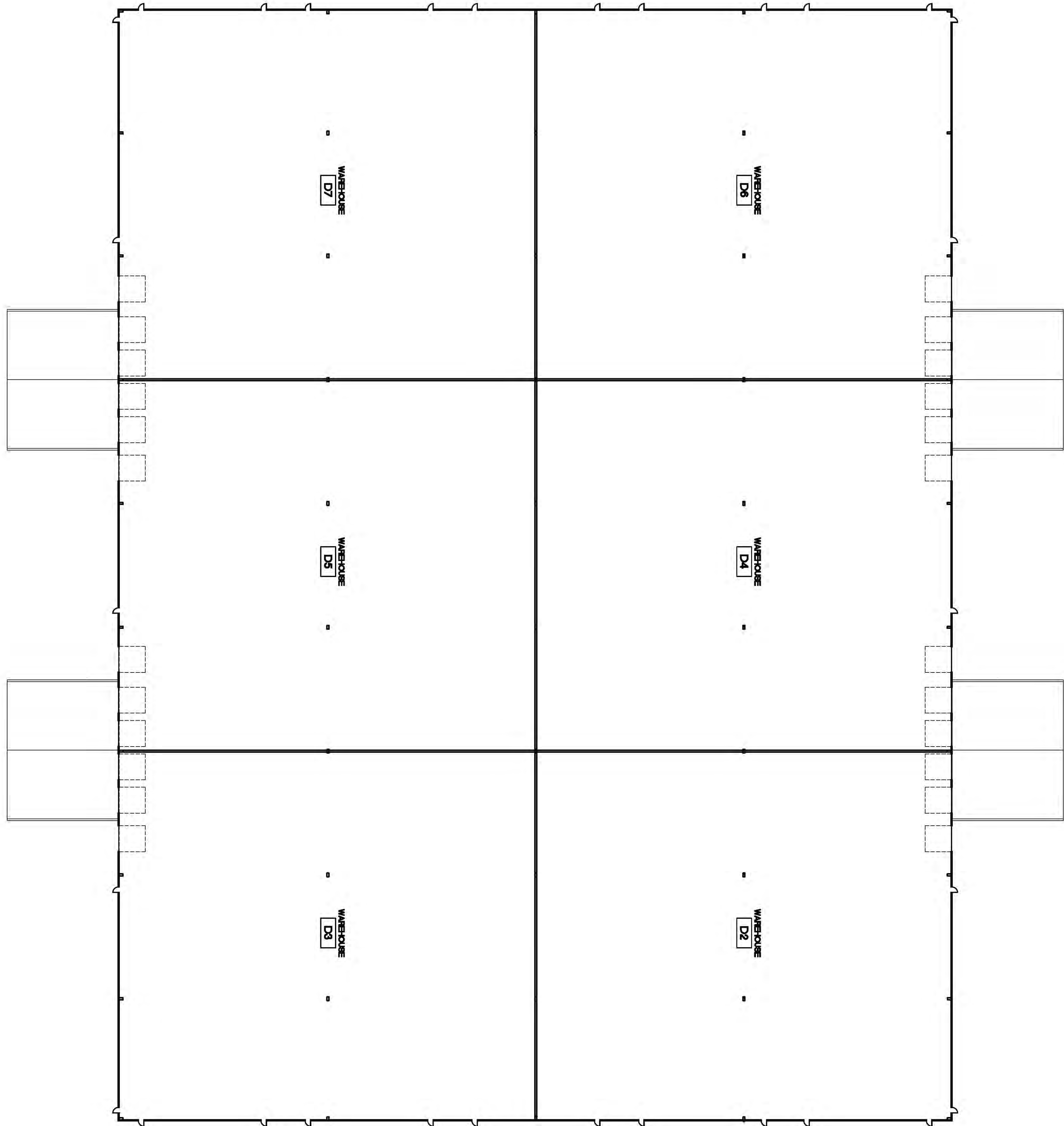


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PROJECT NO. 19-0147  
 DRAWING A202  
 www.tgarchitects.com

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D2 > D7 SHELL BUILDING FLOOR PLAN



SCALE: 1/32" = 1'-0"



PROPOSED DEVELOPMENT:  
 AGROPLANTAE INC.  
 2976 SOUTH PEACH AVE.  
 FRESNO, CALIFORNIA 93725

D2 > D7 SHELL BUILDING FLOOR PLAN

MARK	DATE	DESCRIPTION
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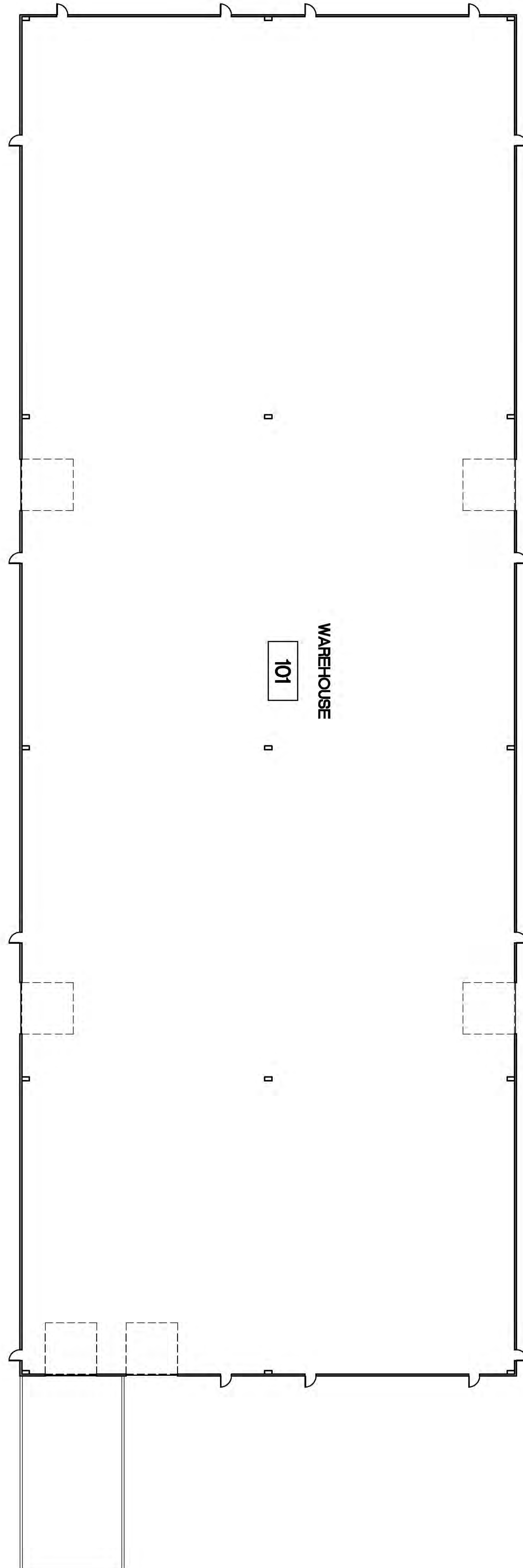


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D8 SHELL BUILDING FLOOR PLAN

SCALE: 1/8" = 1'-0"



PROJECT NO. 19-0147  
 DRAWING A204  
 www.tgarchitects.com

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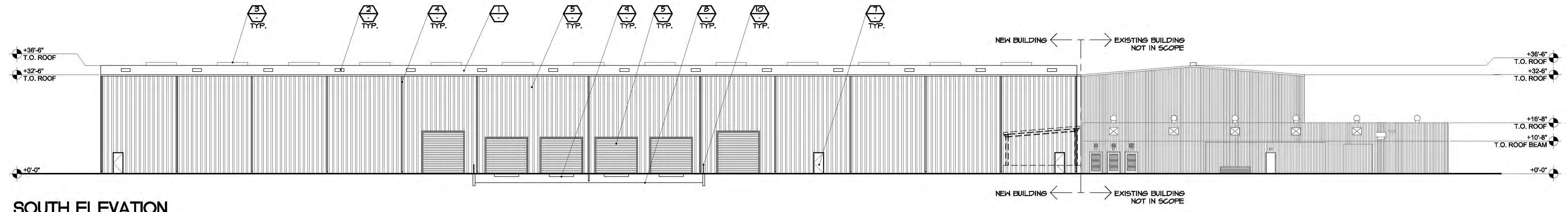
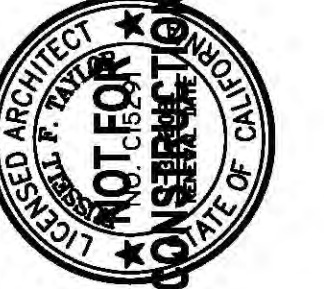
PROPOSED DEVELOPMENT:  
 AGROPLANTAE INC.  
 2976 SOUTH PEACH AVE.  
 FRESNO, CALIFORNIA 93725

D8 SHELL BUILDING FLOOR PLAN

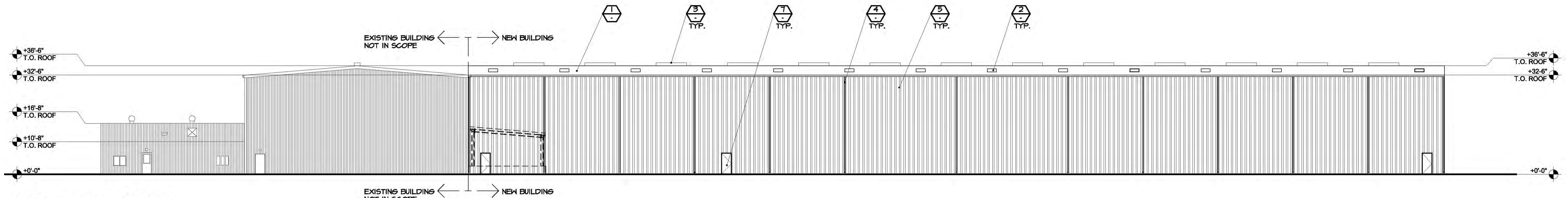
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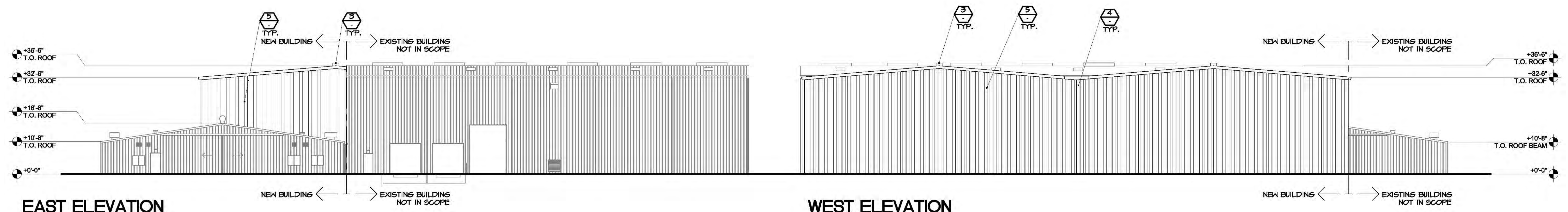
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SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION

WEST ELEVATION

EXTERIOR PAINTING SCHEDULE	
THE FOLLOWING ITEMS SHALL BE PAINTED, UNLESS OTHERWISE INDICATED. PAINTING REQUIRED AT ALL (N) AND (E) OF EA. ITEM LISTED	THE FOLLOWING ITEMS DO NOT REQUIRE FIELD PAINTING, EXCEPT FOR TOUCH-UP AS REQUIRED IN SPECIFICATIONS:
EXPOSED GSM FLASHING & CAPS EXPOSED CONCRETE FOUNDATION/BULKHEAD ROOF ACCESS HATCH SOFFIT VENTS	STOREFRONT SYSTEM EXTERIOR CEMENT PLASTER (E) PRECAST CONC. PANELS (E) CMU BUILDING WALLS (E) MASONRY CHIMNEY (E) SPLIT-FACE CMU PREFIN. ALUM. MECHANICAL SCREEN
<b>EXPANSION JOINTS:</b> IN EXT. CEMENT PLASTER O/ PLYWOOD SHTG. O/ WOOD STUDS ---- SEE DETAIL 16/A904	

- NOTES:
1. ALL SHEET METAL FLASHING TO BE MIN 24 GA., UNLESS OTHERWISE INDICATED.
  2. SEE REFLECTED CEILING PLANS FOR SOFFIT MATERIALS.
  3. FOR TYPICAL PLASTER ACCESSORIES, SEE DETAIL 18/A904
  4. FOR TYPICAL SEALANT JOINTS, SEE DETAIL 19/A904
  5. FOR FLASHING AROUND BOX PENETRATIONS AT PLASTER, SEE DETAIL 21/A904
  6. ALL EXPOSED STEEL WELDS TO MEET NOMMA VOLUNTARY JOINT FINISH STANDARD FINISH NO. 2, UNLESS OTHERWISE INDICATED.

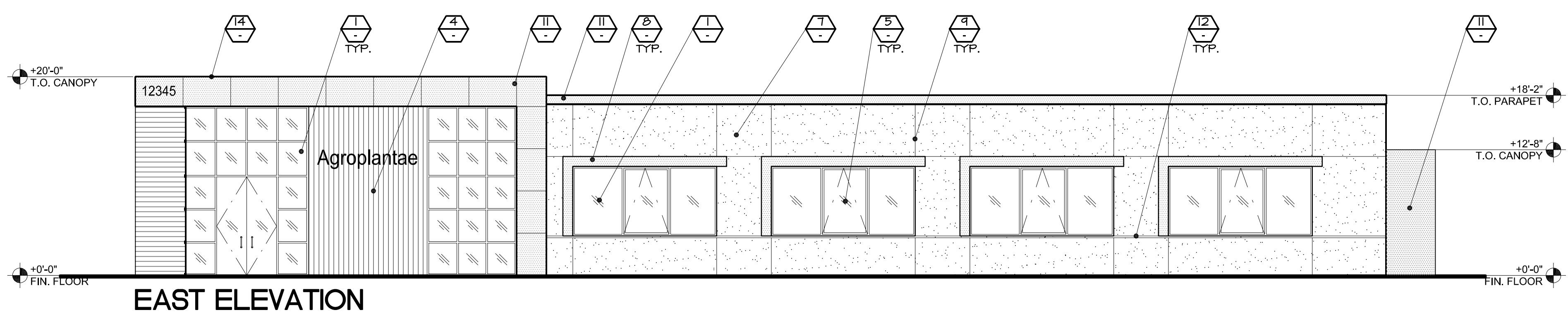
EXTERIOR FINISH SCHEDULE		
MARK	MATERIAL	DESCRIPTION
1	METAL ROOFING	-
2	TRANSLUCENT PANEL	-
3	NEW RIDGE VENT	-
4	DOWN SPOUT	-
5	METAL SIDING	-
6	ROLL UP DOOR	-
7	DOOR	-
8	TRUCK LOADING DOCK	-
9	TRUCK BUMPER	-
10	METAL GUARD	-

MARK	DATE	DESCRIPTION

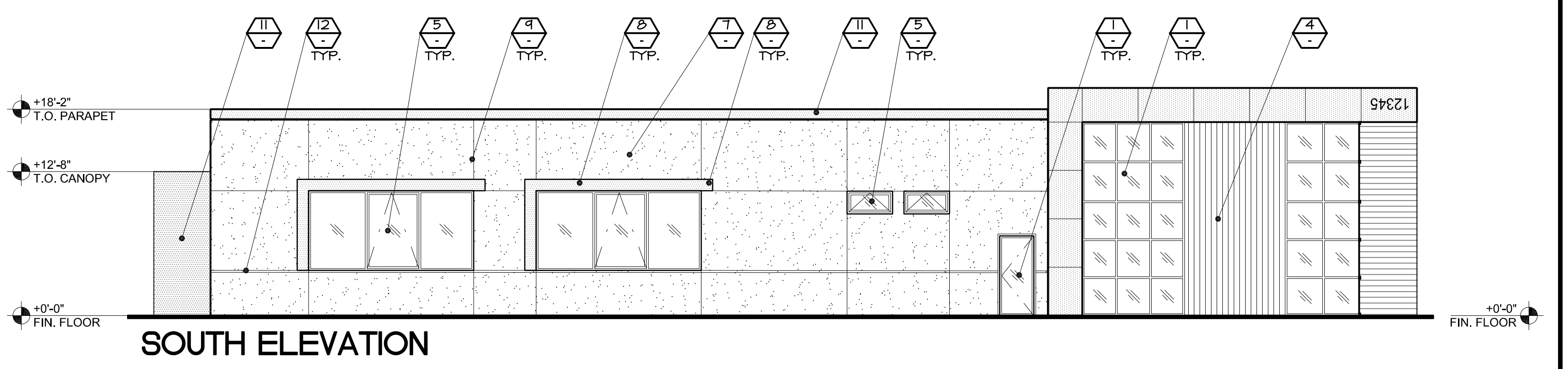
PROPOSED DEVELOPMENT:  
 AGROPLANTAE INC.  
 2976 SOUTH PEACH AVE.  
 FRESNO, CALIFORNIA 93725

EXTERIOR ELEVATIONS - 3/4/A1/A2/D1 BUILDINGS

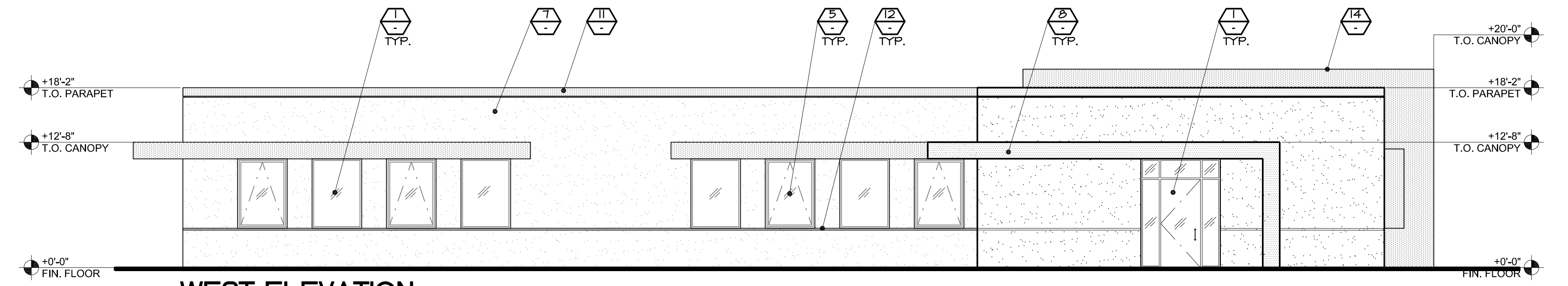
The Taylor Group expressly warrants that the drawings and specifications are a true and correct representation of the design and construction of the project. This warranty is limited to the design and construction of the project and does not extend to the performance of the project or the quality of the materials used in the project. The Taylor Group shall not be held responsible for any errors or omissions in the drawings and specifications, or for any consequences arising from the use of the drawings and specifications.



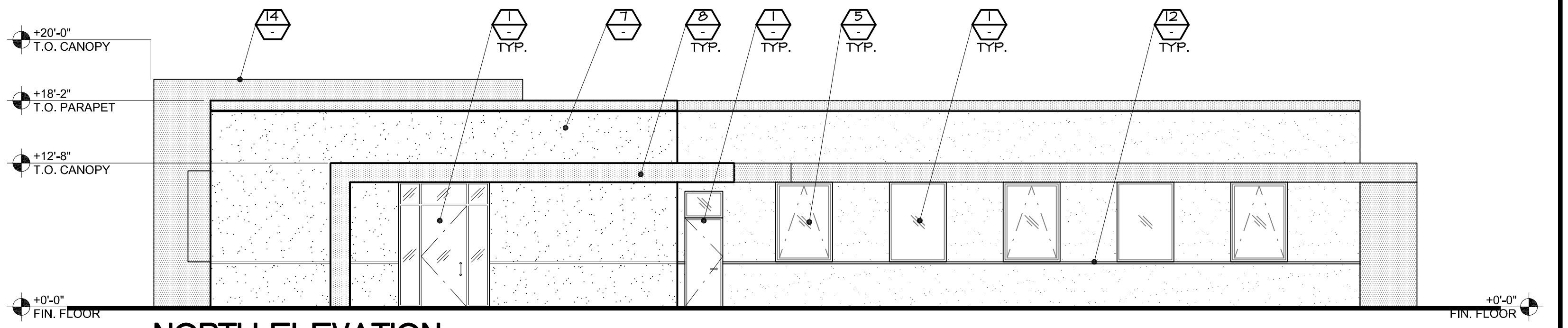
EAST ELEVATION



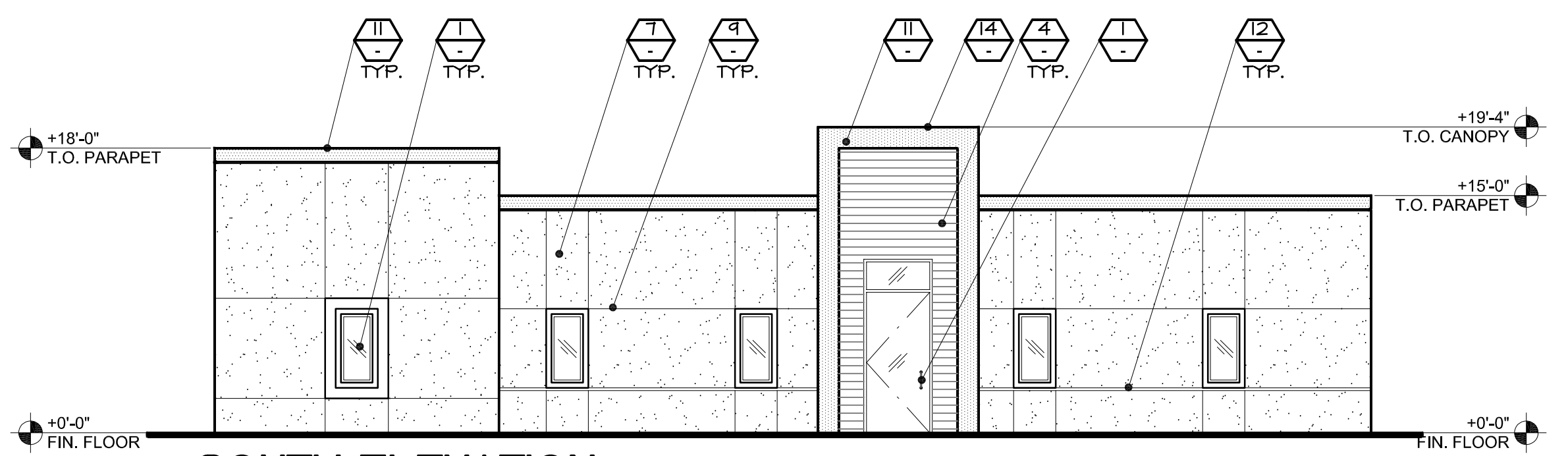
SOUTH ELEVATION



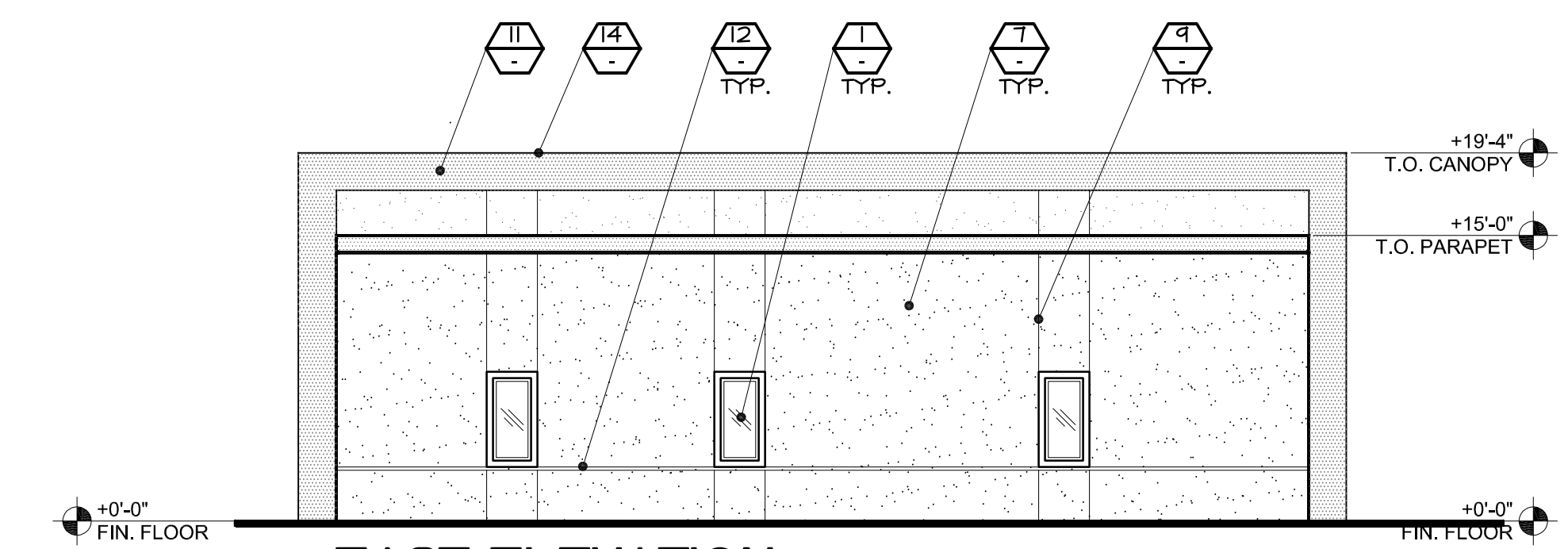
WEST ELEVATION



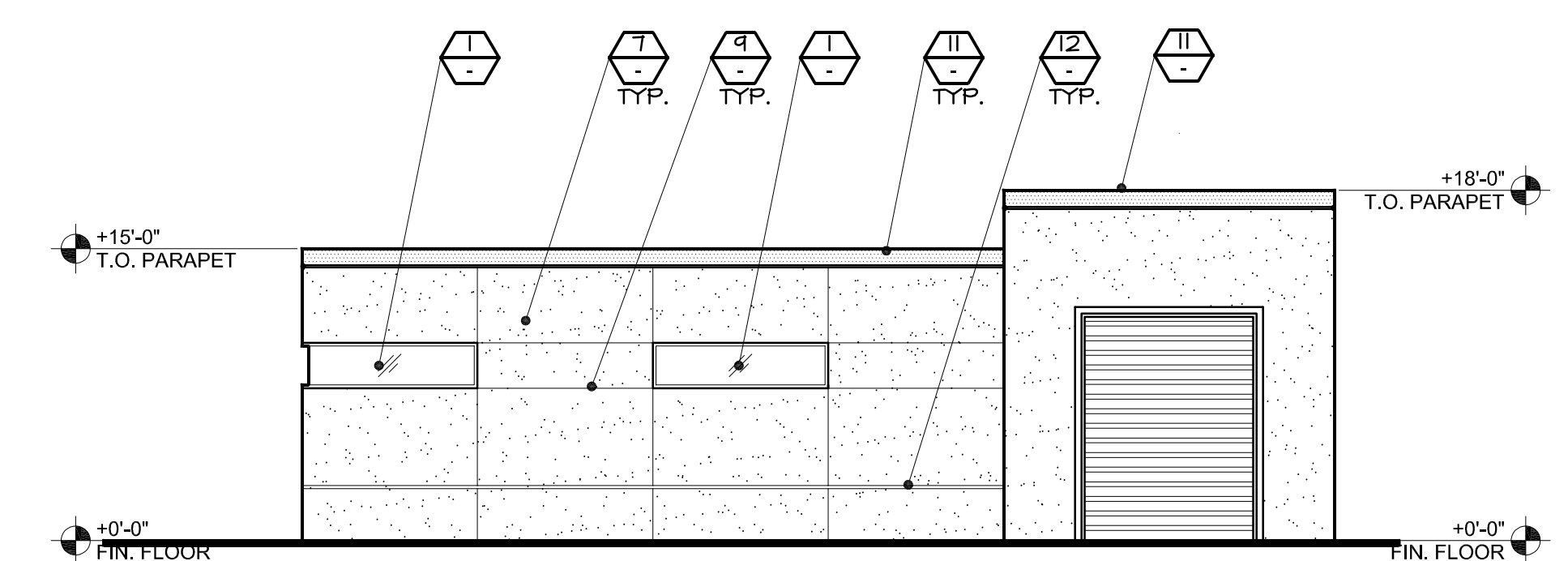
NORTH ELEVATION



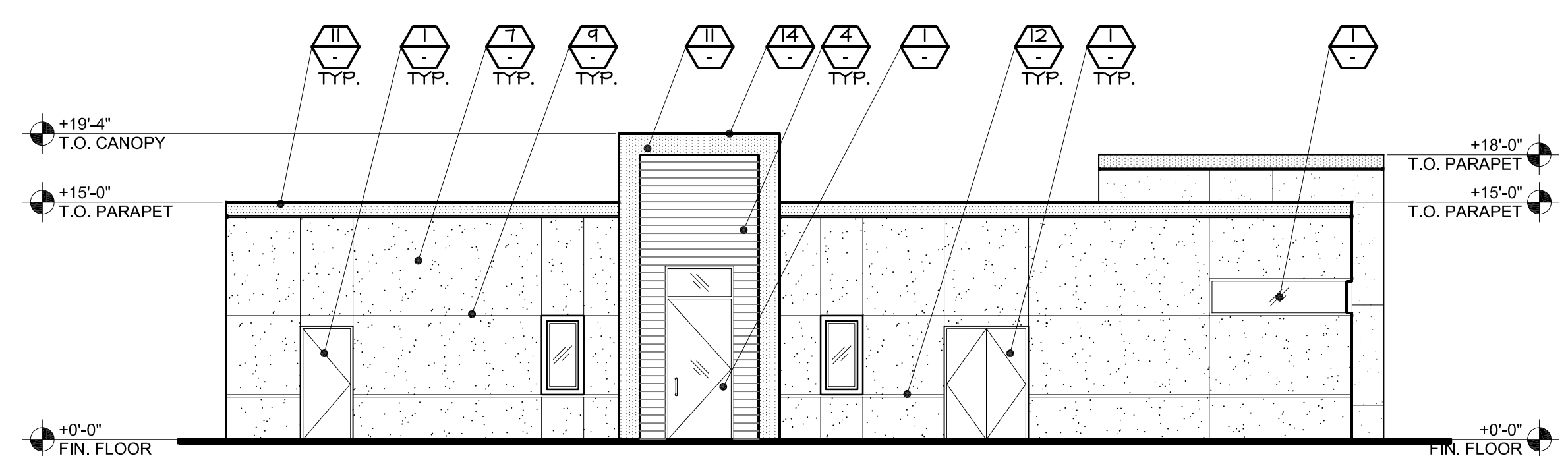
SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION

EXTERIOR FINISH SCHEDULE

MARK	MATERIAL	DESCRIPTION
1	ALUMINUM STOREFRONT/CURTAINWALL SYSTEM	4-1/2" STOREFRONT / 6" CURTAIN WALL, THERMAL BREAK, CLEAR ANODIZED FINISH, SEE WINDOW SCHEDULE, SHEET A301
2	GALV. SHEET METAL CAP FLASHING	-
3	HOLLOW METAL DOOR & FRAME	FACTORY PRIMED; SEE DOOR SCHEDULE, SHEET A301
4	SIMULATED WOOD SIDING/FASCIA PANEL RAINSCREEN SYSTEM	PREFINISHED FIBER CEMENT CLADDING SYSTEM, ARTISAN SHIPLAP PATTERN, AT LOCATIONS INDICATED, INSIDE & SOFFITS OF EYEBROW CANOPIES
5	OPENABLE AWNING WINDOW	POWDER COATED, CONTRASTING COLOR, SEE WINDOW SCHEDULE, SHEET A301
6	EXPOSED CONCRETE	SACK TO SMOOTH FINISH
7	EXT. INSULATION FINISH SYSTEM (EIFS); RIGID INSUL. O/ GYPSUM SHTG.	1-1/2" THICK INSULATION SYSTEM, ACRYLIC COLOR FINISH, SMOOTH TEXTURE/FINISH, SEE SHEET A106 FOR STANDARD EIFS DETAILS; SEE DETAIL 15/A106 FOR TYP. LIST OF MFR. DETAILS

MARK	MATERIAL	DESCRIPTION
8	ALUMINUM EYEBROW CANOPY	CLEAR ANODIZED ALUMINUM; SEE DETAIL 1/A101
4	EIFS SYSTEM JOINT	AESTHETIC REVEAL JOINT, TYP.; SUBSTITUTE CONTROL JOINT WHERE REQ'D BY MANUFACTURER; SEE DETAILS 14 & 15/A106 AND ELEVATIONS FOR PATTERN AND LOCATIONS
10	FRAMELESS TEMPERED GLASS DOOR	SEE DOOR SCHEDULE, SHEET A301
11	PREFINISHED ALUMINUM CAP FLASHING	16" DEEP WITH 2" ALUMINUM REVEAL, TYP., U.N.O.
12	2" WIDE ALUMINUM REVEAL	CLEAR ANODIZED ALUMINUM
13	ACM PANEL RAINSCREEN SYSTEM	PANEL JOINTS WHERE INDICATED; SEE DETAILS 1 - 4/A102 FOR TYPICAL ACM DETAILS
14	ACM PANEL PARAPET CAP	PANEL JOINTS WHERE INDICATED; SEE DETAIL 5/A106
15	-	-

EXTERIOR PAINTING SCHEDULE

DESCRIPTION	DESCRIPTION
THE FOLLOWING ITEMS SHALL BE PAINTED; UNLESS OTHERWISE INDICATED, PAINTING REQUIRED AT ALL OF EA. ITEM LISTED	THE FOLLOWING ITEMS DO NOT REQUIRE FIELD PAINTING, EXCEPT FOR TOUCH-UP AS REQUIRED IN SPECIFICATIONS:
EXPOSED GSM FLASHING & CAPS EXPOSED CONCRETE FOUNDATION HOLLOW METAL DOORS & FRAMES ROOF ACCESS HATCH TRASH ENCLOSURE GATE EXPOSED ROOF DRAIN OVERFLOW PIPE UNFINISHED TRIM AT SIMULATED WOOD SIDING/SOFFIT SYSTEM MISC. PANELS & EXPOSED PIPES; SEE SPECS	STOREFRONT/CURTAINWALL SYSTEM EIFS SYSTEM ALUMINUM EYEBROW CANOPY ALUMINUM FASCIA ALUMINUM CAP FLASHING ALUMINUM REVEAL OPENABLE AWNING WINDOWS SIMULATED WOOD SIDING/SOFFIT ACM PANELS
EXPANSION JOINTS: IN EIFS SYSTEM O/ GYPSUM SHTG. O/ METAL STUDS-----SEE DETAILS 15, 14 & 15/A106	
SEE STRUCTURAL DRAWINGS FOR DRIFT JOINT LOCATIONS AND INFORMATION	

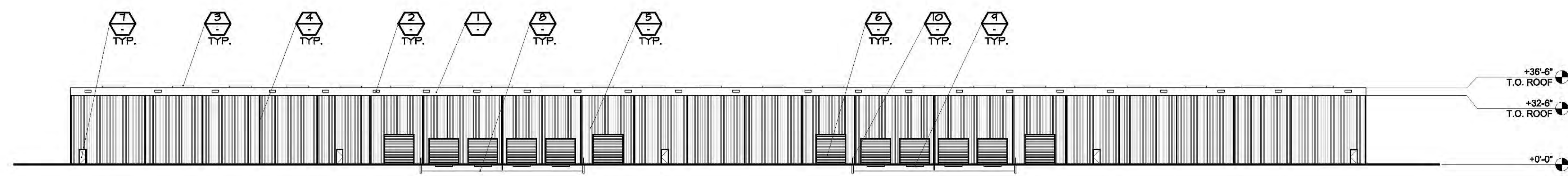
- NOTES:
- ALL SHEET METAL FLASHING TO BE MIN 24 GA., UNLESS OTHERWISE INDICATED.
  - SEE REFLECTED CEILING PLANS FOR SOFFIT MATERIALS.
  - PROVIDE GYP. SHTG. BELOW ALL EIFS AND ACM PANEL RAINSCREEN SYSTEMS AT ALL VERT. SURFACES; SEE SECTIONS AND DETAILS FOR LOCATIONS WHERE REQ'D.
  - FOR TYPICAL SEALANT JOINTS, SEE DETAIL 1/A106
  - FOR FLASHING AROUND WALL OPENINGS, SEE DETAIL 26/A106
  - FOR FLASHING AROUND BOX/PIPE PENETRATIONS AT EIFS, SEE DETAIL 24/A106
  - ANTI-GRAFFITI COATING TO BE APPLIED TO EIFS, & CONCRETE BELOW HORIZONTAL JOINT AT +0'-0", APPLIED CONT. AROUND ENTIRE BUILDING.
  - SEE STRUCTURAL DRAWINGS FOR DRIFT JOINT DETAILS

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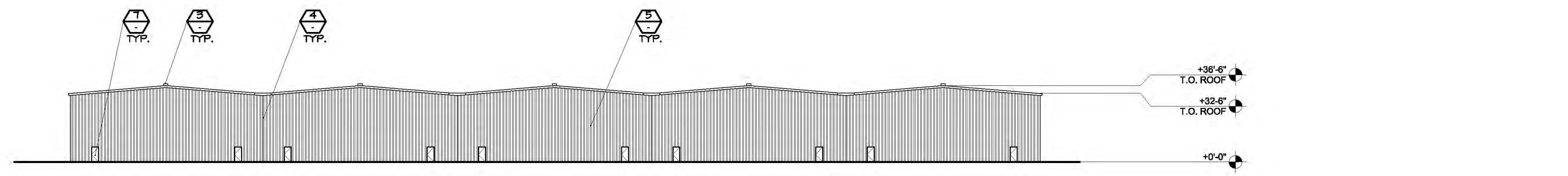
EXTERIOR ELEVATIONS - B1 - C1 BUILDINGS

EXTERIOR ELEVATIONS - B1 - C1 BUILDINGS

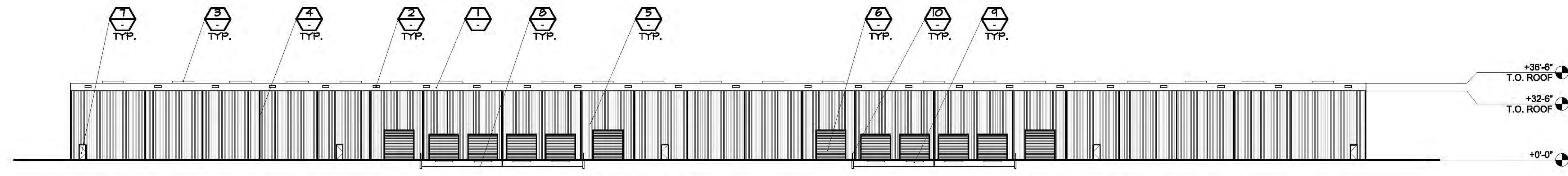
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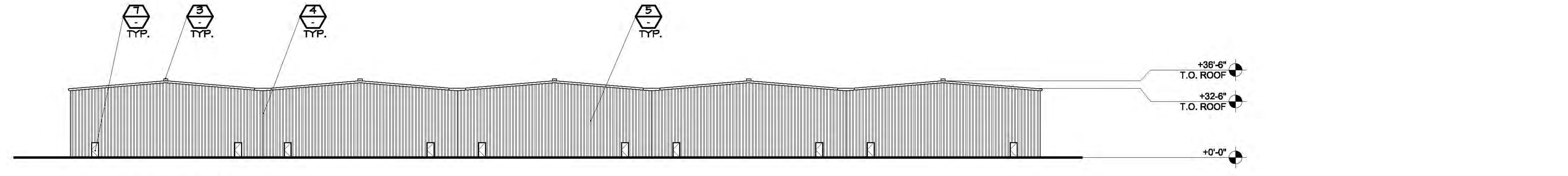
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

EXTERIOR PAINTING SCHEDULE	
THE FOLLOWING ITEMS SHALL BE PAINTED, UNLESS OTHERWISE INDICATED. PAINTING REQUIRED AT ALL (N) AND (E) OF EA. ITEM LISTED	THE FOLLOWING ITEMS DO NOT REQUIRE FIELD PAINTING, EXCEPT FOR TOUCH-UP AS REQUIRED IN SPECIFICATIONS:
EXPOSED GSM FLASHING & CAPS EXPOSED CONCRETE FOUNDATION/BULKHEAD ROOF ACCESS HATCH SOFFIT VENTS	STOREFRONT SYSTEM EXTERIOR CEMENT PLASTER (E) PRECAST CONC. PANELS (E) CMU BUILDING WALLS (E) MASONRY CHIMNEY (E) SPLIT-FACE CMU PREFIN. ALUM. MECHANICAL SCREEN
<b>EXPANSION JOINTS:</b> IN EXT. CEMENT PLASTER OR PLYWOOD SHTG. OR WOOD STUDS ---- SEE DETAIL 16/A904	

- NOTES:
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  3. FOR TYPICAL PLASTER ACCESSORIES, SEE DETAIL 18/A904
  4. FOR TYPICAL SEALANT JOINTS, SEE DETAIL 19/A904
  5. FOR FLASHING AROUND BOX PENETRATIONS AT PLASTER, SEE DETAIL 21/A904
  6. ALL EXPOSED STEEL WELDS TO MEET NOMMA VOLUNTARY JOINT FINISH STANDARD FINISH NO. 2, UNLESS OTHERWISE INDICATED.

EXTERIOR FINISH SCHEDULE		MATERIAL MK. COLOR MK.
MARK	MATERIAL	DESCRIPTION
1	METAL ROOFING	-
2	TRANSLUCENT PANEL	-
3	NEW RIDGE VENT	-
4	DOWN SPOUT	-
5	METAL SIDING	-
6	ROLL UP DOOR	-
7	DOOR	-
8	TRUCK LOADING DOCK	-
9	TRUCK BUMPER	-
10	METAL GUARD	-

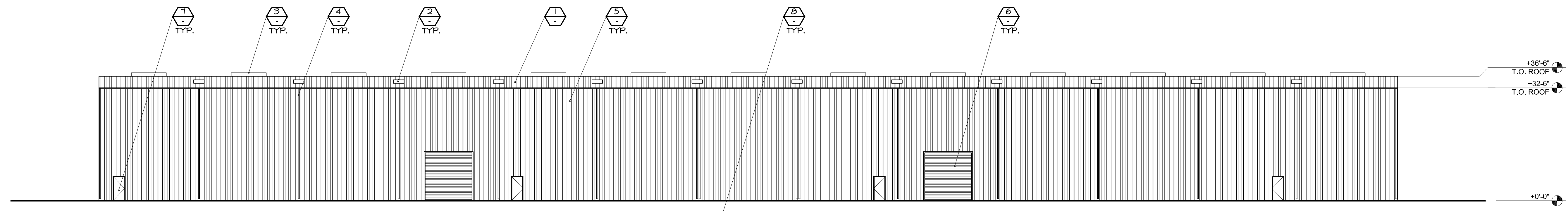
MARK	DATE	DESCRIPTION
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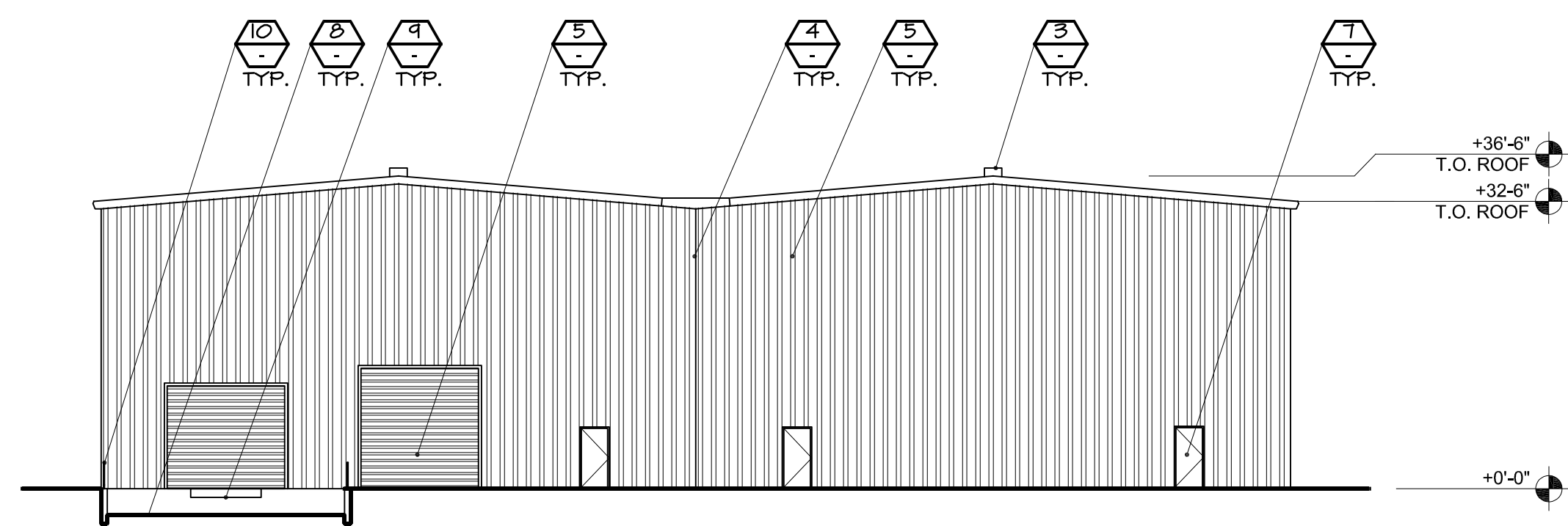
EXTERIOR ELEVATIONS - D2 > D7 BUILDINGS

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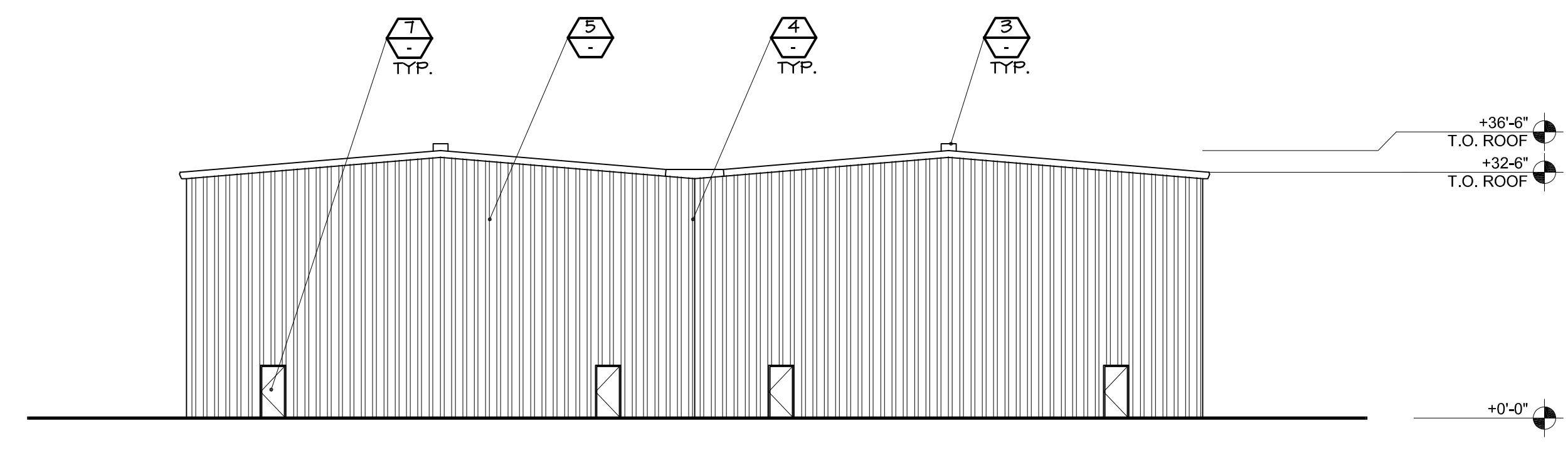




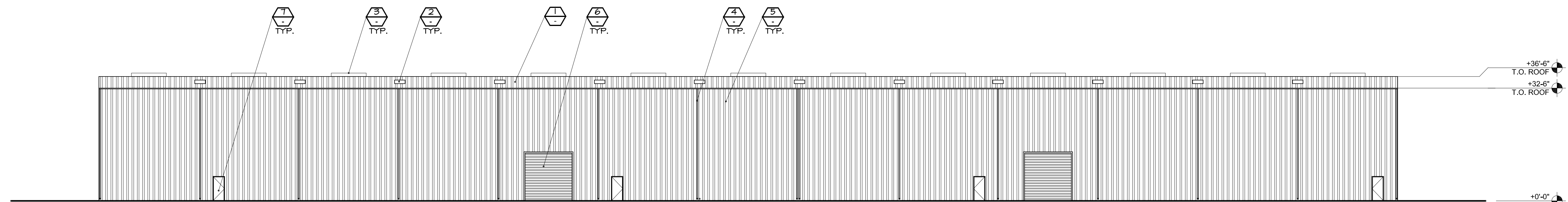
SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION

EXTERIOR PAINTING SCHEDULE	
THE FOLLOWING ITEMS SHALL BE PAINTED, UNLESS OTHERWISE INDICATED. PAINTING REQUIRED AT ALL (N) AND (E) OF EA. ITEM LISTED	THE FOLLOWING ITEMS DO NOT REQUIRE FIELD PAINTING, EXCEPT FOR TOUCH-UP AS REQUIRED IN SPECIFICATIONS:
EXPOSED GGM FLASHING & CAPS EXPOSED CONCRETE FOUNDATION/BULKHEAD ROOF ACCESS HATCH SOFFIT VENTS	STOREFRONT SYSTEM EXTERIOR CEMENT PLASTER (E) PRECAST CONC. PANELS (E) CMU BUILDING WALLS (E) MASONRY CHIMNEY (E) SPLIT-FACE CMU PREFIN. ALUM. MECHANICAL SCREEN
<b>EXPANSION JOINTS:</b> IN EXT. CEMENT PLASTER OR PLYWOOD SHTG. OR WOOD STUDS ---- SEE DETAIL 16/A904	

- NOTES:
1. ALL SHEET METAL FLASHING TO BE MIN 24 GA., UNLESS OTHERWISE INDICATED.
  2. SEE REFLECTED CEILING PLANS FOR SOFFIT MATERIALS.
  3. FOR TYPICAL PLASTER ACCESSORIES, SEE DETAIL 18/A904
  4. FOR TYPICAL SEALANT JOINTS, SEE DETAIL 19/A904
  5. FOR FLASHING AROUND BOX PENETRATIONS AT PLASTER, SEE DETAIL 21/A904
  6. ALL EXPOSED STEEL WELDS TO MEET NOMMA VOLUNTARY JOINT FINISH STANDARD FINISH NO. 2, UNLESS OTHERWISE INDICATED.

EXTERIOR FINISH SCHEDULE		
MARK	MATERIAL	DESCRIPTION
1	METAL ROOFING	-
2	TRANSLUCENT PANEL	-
3	NEW RIDGE VENT	-
4	DOWN SPOUT	-
5	METAL SIDING	-
6	ROLL UP DOOR	-
7	DOOR	-
8	TRUCK LOADING DOCK	-
9	TRUCK BUMPER	-
10	METAL GUARD	-



MARK	DATE	DESCRIPTION
Δ	-	-

PROPOSED DEVELOPMENT:  
AGROPLANTAE INC.  
2976 SOUTH PEACH AVE.  
FRESNO, CALIFORNIA 93725

EXTERIOR ELEVATIONS - D8 BUILDING

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