

County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING STEVEN E. WHITE, DIRECTOR

DATE: October 21, 2024

TO:	Department of Public Works and Planning, Attn: Steven E. White, Director
	Department of Public Works and Planning, Attn: Bernard Jimenez,
	Planning and Resource Management Officer
	Development Services and Capital Projects, Attn: William M. Kettler, Deputy Director Planning
	Development Services and Capital Projects, Attn: Chris Motta, Division Manager
	Development Services and Capital Projects, Attn: Tawanda Mtunga, Principal Planner
	Development Services and Capital Projects, Attn: James Anders,
	Principal Planner
	Development Services and Capital Projects, Current Planning, Attn: David Randall, Senior Planner
	Development Services and Capital Projects, Policy Planning, Attn:
	Mohammad Khorsand, Senior Planner; Dominique Navarrette, Planner
	Development Services and Capital Projects, Zoning & Permit Review,
	Attn: Daniel Gutierrez, Senior Planner
	Development Services and Capital Projects, Development Engineering,
	Attn: Laurie Kennedy, Office Assistant III
	Water and Natural Resources Division, Attn: Augustine Ramirez, Division Manager; Roy Jimenez
	Water and Natural Resources Division, Transportation Planning, Attn:
	Hector Luna, Senior Planner/Brody Hines, Planner
	Road Maintenance and Operations Division, Attn: Wendy Nakagawa, Supervising Engineer
	Department of Public Health, Environmental Health Division, Attn: Deep
	Sidhu, Supervising Environmental Health Specialist; Kevin Tsuda,
	Environmental Health Specialist
	Central Valley Regional Water Quality Control Board; Attn:
	centralvalleyfresno@waterboards.ca.gov
	California Department of Fish and Wildlife, Attn: <u>R4CEQA@wildlife.ca.gov</u>
	Fresno County Fire District, Attn: <u>fku.prevention-planning@fire.ca.gov</u>
	Fresno Irrigation District, Attn. Lawrence Kimura, Chief Engineer
	Engr-Review@frespoirrigation.com

- FROM: Arianna Brown, Planner Development Services and Capital Projects Division
- SUBJECT: Director Review and Approval No. 4787
- APPLICANT: Beatrice Pino

DUE DATE: November 4, 2024

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject application proposing to allow a second residence on a substandard 4.89-acre parcel located within the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District. Second residence not to exceed 2,000 square feet of living area. Owner of record to occupy one of the homes on-site.

The subject parcel is located on the east side of S. East Ave and north of E. American Ave. The property is approximately 1.05 miles from the limits of the City of Fresno. (APN: 329-070-32) (4637 S. Academy) (Sup. Dist. 3).

Based upon this review, a determination will be made regarding conditions to be imposed on the project, including necessary on-site and off-site improvements.

We must have your comments by **<u>November 4, 2024</u>**. Any comments received after this date may not be used.

If you do not have comments, please provide a "NO COMMENT" response to our office by the above deadline (e-mail is also acceptable; see email address below).

Please address any correspondence or questions related to environmental and/or policy/design issues to me, Arianna Brown, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or call (559) 600-4245, or email arbrown@fresnocountyca.gov.

AB

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Enclosures

Dat	e Received: 1010 1024
Fresno County Department of Public V	Vorks and Planning
Department of Public Works and Planning So Development Services and Capital Projects Division St	DCATION: Application No.) Application No.) Ap
Image: Second Residence Amendment Application Director Review and Approval Amendment Application Director Review and Approval Amendment to Text for 2 nd Residence Conditional Use Permit Determination of Merger Variance (Class)/Minor Variance Agreements Site Plan Review/Occupancy Permit ALCC/RLCC No Shoot/Dog Leash Law Boundary Other General Plan Amendment/Specific Plan/SP Amendment) Time Extension for CEQA DOCUMENTATION: Initial Study PER N/A PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completed	
and deeds as specified on the Pre-Application Review. Attach Copy of Deed, incl LOCATION OF PROPERTY: The Morth 1/3 side of the South 3, between <u>American Ave</u> and Street address: APN: 329-070-32 Parcel size:	14 OF 10t 16 Central Ave
ADDITIONAL APN(s): , <u>Difficult</u> (signature), declare that I am the ow the above described property and that the application and attached documents a knowledge. The foregoing declaration is made under penalty of perjury. <u>BLATTICE FIND</u> <u>HABT SEASTAM</u> <u>FTCSM</u> Owner (Print or Type) <u>Address</u> City <u>EMI 10 H. PINO</u> <u>50 9 E. Bri Hen</u> <u>FTCSM</u> <u>Address</u> City <u>ELI JAN J. PINO</u> <u>50 9 E. Bri Hen</u> <u>FTCSM</u> City CONTACT EMAIL: BEG <u>DeleCtrical Power Sourceinc</u> . Com	93725 559-244-1129 Zip Phone 559-696-6972 Zip Phone
OFFICE USE ONLY (PRINT FORM ON GREEN PAPER) Application Type / No.: Dir. Review #App Residential (Fee: \$1570.00 Application Type / No.: Fee: \$ PER/Initial Study No.: Fee: \$ Appleartment Review: Fee: \$ Health Department Review: Fee: \$ Received By: Invoice No.: 3 9 14 TOTAL: \$ 2 002: 00	UTILITIES AVAILABLE: WATER: Yes X / No Agency: Well SEWER: Yes \square / No X (Sep $+^{\circ}C$) Agency:
STAFF DETERMINATION: This permit is sought under Ordinance Section: Related Application(s): Zone District: Parcel Size: G:\d360Devs&Pln\PR0/JBCC\PR0/JDCCS\TEMPLATES\PWandPlanningApplicationF-BRvsd-20150601.docm	Sect-Twp/Rg: - TS /RE APN # - Over -

(PRINT FORM ON GREEN PAPER)

Development Services PL	re-Application Review
and Email to: Depai	rtment of Public Works and Planning
Conital Draigate has Calestrial automatical	ceinc.com NUMBER: 21-097012
Division	APPLICANT: Beatrice Pino
	PHONE: (559) 244-1129
PROPERTY LOCATION: 4637 S EAST AVE, FI APN(s): 329-070-32 ALCC: No. ✓ Yes #	RESNO, CA 93706
CNEL: No 🖌 Yes(level) LOW WATER: No 🗸 Yes WITHIN ½	MILE OF CITY: No Yes
ZONE DISTRICT:; SRA: No∕_Yes HOMESI LOT STATUS:	TE DECLARATION REQ'D.: No 🖌 Yes
Zoning: () Conforms; (√) Legal Non-Conforming lot; () L	
Merger: May be subject to merger: No_√_YesZM# Map Act: () Lot of Rec. Map; () On '72 rolls; (√) Other <u>perm</u>	Initiated In process
SCHOOL FEES: NoYes. ✓ DISTRICT: Orange Center Elementary, Washington U	Jnion PERMIT JACKET: NoYes_x
FMFCD FEE AREA: (✓) Outside () District No.:	FLOOD PRONE: No Yes
PROPOSAL_DRA to allow a second residence on a 4.89-acre parcel in the AE-2,000 sq. ft. of living area. Owner of record must occupy one of the two ho	20 Zone District. Second residence not to exceed mes on site.
COMMENTS: Proposed second residence will replace (E) 2nd res [DRA 3778] and prime ORD. SECTION(S): 816.2-W, 855-N 29 BY: H. K.	AUR DATE: 7/14/21
	ROCEDURES AND FEES:
LAND USE DESIGNATION: <u>Agriculture</u> ()GPA: COMMUNITY PLAN: ()AA:	()MINOR VA: (★)HD:_432.00
REGIONAL PLAN:	(Y)AG COMM: 25.00
SPECIFIC PLAN: (¥)DRA: <u>\$785.</u>	(Anad)()ALCC:
SPECIAL POLICIES: ()VA:	()IS/PER*:
SPHERE OF INFLUENCE: ()AT:	()Viol. (35%): ()Other:
	Filing Fee: \$ 1,242.00
	lication Fee:
Total Co	lication Fee:
Total Co FILING REQUIREMENTS:	lication Fee: where filing Fee:
Total Co FILING REQUIREMENTS: OTHER FILING FE (X) Land Use Applications and Fees () Archaeological Interview	lication Fee:
Total Co FILING REQUIREMENTS: OTHER FILING FE (×) Land Use Applications and Fees () Archaeological Into (Separate check to Separate che	Iication Fee:\$247.00 bunty Filing Fee: ES: ventory Fee: <u>\$75 at time of filing</u> Southern San Joaquin Valley Info. Center) & Wildlife (CDFW):(<u>\$50+\$2,480.25)</u>
FILING REQUIREMENTS: OTHER FILING FE (×) Land Use Applications and Fees () Archaeological Into (Separate check to Separate check to S	lication Fee:\$247.00 bunty Filing Fee: ES: ventory Fee: <u>\$75 at time of filing</u> Southern San Joaquin Valley Info. Center) & Wildlife (CDFW):(<u>\$50+\$2,480.25)</u> Fresno County Clerk for pass-thru to CDFW.
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1 Ĺ UMMU *********** J . 5 RECORDING REQUESTED BY AND WHEN RECORDED MAIL THIS DEED AND, UNLESS OTHERWISE SHOWN BELOW, MAIL TAX STATEMENTS TO: NAME EMILLO H. PIND FRESNO County Recorder Paul Dictos, C.P.A. STREET 4037 S. EASTAVE DOC- 2013-0163908 Tuesday, DEC 03, 2013 11:37:24 CITY FRESNO \$22.00 TEI Pd Rcpt # 0004017158 ĊŦ 21P KJE/R6/1-2 93725 1 Title Order No. Escrow No SPACE ABOVE THIS LINE FOR RECORDER'S USE 1.10% DOCUMENTARY TRANSFER TAX \$ -0 **GRANT DEED** Computed on full value of property conveyed, or computed on full value iess liens and encumbrances remaining at time of sale. the iCl C T DETE FIRME NAME Hno FOR VALUABLE CONSIDERATION, receipt of which is acknowledged; F(We), Emilio H man as his sole, and Marrien Se EMILID H. YIND Beatrice and grant to loint Hnants 1 Fresho all that real property situated in the City of for in an unincorporated area of) fresno described as follows (insert legal description): County, State of e: exhibit A D Assessor's parcel No. Executed on OCTOBEP 0.1 FRESNO, CALIFORNIA **X1** Emu 10 -1-1 State of California County of FRESNO . ۰.. . On OCTODER 25,2013 before me. DRICA E. REVES NOTARU (insert name and title of the officer) **RIGHT THUMBPRINT (Optional)** personally appeared EMILIO H. PINO TIT who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/acce subscribed to the within instrument and acknowledged to me that he/she/they executed the same in H Q his/her/their authorized capacity(les), and that by his/her/their signature(s) on the instrument the THUMB person(s), or the entity upon behalf of which the person(s) acted, executed the instrument. 5 I cartify under PENALTY OF PERJURY under the laws of the State of California that the foregoing ê paragraph is true and correct. CAPACITY CLAIMED BY SIGNER(S) ERICA E. REYES COMM. #2035323 WITNESS my hand and official seal. D INDIVIDUALISI Notary Public - California OFFICERS Signature Eincer E. Ree TITLES (Seal) Comm. Expires July 30, 2017 D PARTNER(S) O LIMITED D ATTORNEY IN FACT D TRUSTEE(S) MAIL TAX STATEMENT TO: 443 S. EAST FRESNO, CP Pr 1Ph D GUARDIAN/CONSERVATOR 0 70 CA propriate and necessary to your perdeular transaction. Consult no representation or warranty, express or implied, with

SIGNER IS REPRESENTING: (NAME OF PERSON(S) OR ENTITY(IES)):

PROPOSED NEW HOUSE FOR MR. EMILIO H. PINO MRS. BEATRICE PINO 4637 S. EAST AVENUE FRESNO, CALIFORNIA 93725 A.P.N. No. 329-070-32



EAST ELEVATION LEFT



WEST ELEVATION





NORTH ELEVATION

EAST ELVATION_LEFT

SOUTH ELEVATION

GENERAL NOTES

- THIS PROJECT IS NOT WITHIN A FLOOD ZONE FIRE SPRINKLER SYSTEM IS REQUIRED FOR THIS PROJECT. ALL EXCAVATIONS SHALL BE PER CA OSHA REQUIREMENTS AND PERMITS. (ESPECIALLY IF
- 5 FEET OR MORE IN DEPTH). PROVIDE ADDRESS ON A MONUMENT, POLE, SIGN OR OTHER MEANS TO IDENTIFY THE STRUCTURE AND IS TO BE VISIBLE FROM THE ROAD FRONTING THE PROPERTY. THE NUMBERS
- SHALL BE ARIBIC AND SHALL BE A MINIMUM OF 4 INCHES (102 mm) HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH (12.7 mm). THIS PROJECT IS SUBJECT TO THE REQUIREMENTS OF CHAPTER 7A OF THE CALIFORNIA
- BUILDING CODE. THE PERMIT FOR THIS PROJECT REQUIRES FIRE SPRINKLERS. SUBMIT PLANS AND OBTAIN PERMIT FROM FIRE PREVENTION BEREAU FOR INSTALLATION OF FIRE SPRINKLER SYSTEM.

THE CONSTRUCTION WASTE MANAGEMENT PLAN MUST BE FINALIZED PRIOR TO OCCUPANCY.

<u>NOTE:</u>

CHANGES FROM THE APPROVED PLANS DURING THE COURSE OF CONSTRUCTION SHALL CAUSE CONSTRUCTION TO BE SUSPENDED UNTIL SUCH TIME AS THE PLANS CAN BE AMENDED BY THE DESIGNER AND SUBMITTED TO THE COUNTY OF FRESNO FOR REVIEW AND APPROVAL.

BUILDING:

OCCUPANCY GROUP: R-3 CONSTRUCTION TYPE: ZONE: FIRE SPRINKLER SYSTEM: NFPA-13D SOIL: CONCRETE: SITE CLASS: EXPOSURE: LOT SIZE:

DESCRIPTION:

V-B R-1-6 1500 PSF BEARING PRESSURE F'c 2500 PSI IN 28 DAYS D 21,263 S.F.

3,666 S.F.

NEW TWO STORY CUSTOM HOME

SEISMIC DESIGN INFORMATION SITE CLASS 'D'.

LATITUDE: 36.5627 LONGITUDE: -119.6179 SEISMIC IMPORTANCE FACTOR: SPECTRAL RESPONSE ACCELERATIONS: Ss = 0.599 S1 = 0.231 SPECTRAL RESPONSE COEFFICIENTS: Sds = 0.527 Sd1 = null SITE COEFFICIENT: Fa = 1.321 Fv = null



FOOIAGE					
EXISTING 1ST RESIDENCE: RESIDENCE 2 CAR GARAGE COVERED PATIO COVERED PORCH	2,305 S.F. 543 S.F. 312 S.F. 115 S.F.				
EXISTING TOTAL (LOT COVERAGE)	2,848 S.F.				
NEW 2ND RESIDENCE: 1ST FLOOR (CONDITIONED SPACE) 2ND FLOOR (CONDITIONED SPACE) 3 CAR GARAGE 2 CAR GARAGE COVERED PATIO COVERED PORCH BALCONY	1,457 S.F. 542 S.F. 995 S.F. 672 S.F. 1,004 S.F. 113 S.F. 103 S.F.				

NEW TOTAL (LOT COVERAGE) LOT AREA = 215,270.46 S.F. (4.94192 ACRES) EXISTING LOT COVERAGE = 2,848 S.F. NEW LOT COVERAGE = 3,666 S.F. TOTAL LOT COVERAGE = 6,514 S.F. ALLOWABLE LOT COVERAGE = 40%

6,514 / 215,270.46 = 0.0322 x 100 = 3.026% < 40% OK

MATERIAL LOADS: MBLIES

ITEMIZED DEAD L	OADS FOR VARIO	US FRAM	ING ASSEN
<u>ROOF</u>	CONCRETE TILE SHEATHING FRAMING INSULATION CEILING & MISC SOLAR & SPRINK		12.0 3.0 4.0 1.0 2.0 6.0
	DEAD LOAD LIVE LOAD	TOTAL	28.0 20 48.0
FLOOR	FINISH FLOOR SHEATHING FLOOR JOISTS CEILING & MISC SPRINKLERS		4.0 3.5 3.5 2.0 2.0
	DEAD LOAD LIVE LOAD	TOTAL	15.0 40.0 55.0
LIVE LOADS			
ROOF LESS THAN 4/12 4/12 5/12		Lr = 20 Lr = 20 Lr = 19	

6/12

7/12

6/12

Lr = 18

Lr = 17

Lr = 16

SHEET INDEX

- SITE PLAN, SHEET INDEX, CODES, RULES AND REGULATIONS 1ST FLOOR PLAN, KEYNOTES AND GENERAL NOTES 2ND FLOOR PLAN, KEYNOTES AND GENERAL NOTES 1ST FLOOR REFLECTED CEILING PLAN AND NOTES 2ND FLOOR REFLECTED CEILING PLAN AND NOTES EXTERIOR ELEVATIONS AND FINISH SCHEDULE
- EXTERIOR ELEVATIONS AND FINISH SCHEDULE
- Sections
- FOUNDATION PLAN, SHEAR WALL SCHEDULE AND NOTES 2ND FLOOR SHEAR WALL PLAN 2ND FLOOR / LOW ROOF FRAMING PLAN
- ROOF FRAMING PLAN AND SCHEDULES FOUNDATION DETAILS
- FRAMING DETAILS FRAMING DETAILS
- STANDARD STRUCTURAL DETAILS AND NOTES MANUFACTURER'S I-JOIST DETAILS
- ENERGY COMPLIANCE
- WATER ISOMETRIC GAS ISOMETRIC
- FIRE PROTECTION PLAN AND GENERAL NOTES

1ST FLOOR ELECTRICAL PLAN, GENERAL NOTES AND LEGEND 2ND FLOOR ELECTRICAL PLAN, GENERAL NOTES AND LEGEND

CODES, RULES, AND REGULATIONS ALL WORK AND MATERIAL ON THIS PROJECT SHALL BE IN CONFORMANCE WITH THE FOLLOWING CODES AS ADOPTED AND AMENDED BY THE BUILDING DEPARTMENT, NOTHING IN THESE PLANS IS TO BE CONSTRUED AS TO PERMIT ANY WORK OR PRODUCT NOT IN ACCORDANCE WITH THESE CODES.

- INTERNATIONAL RESIDENTIAL CODE (2022 EDITION) UNIFORM MECHANICAL CODE (2022 EDITION)
- UNIFORM PLUMBING CODE (2022 EDITION) INTERNATIONAL FIRE CODE (2022 EDITION)
- NATIONAL ELECTRICAL CODE (2022 EDITION) CALIFORNIA ADMINISTRATIVE CODE (2022 EDITION)
- RESIDENTIAL CODE (2022 EDITION) ELECTRICAL CODE (2022 EDITION)
- MECHANICAL CODE (2022 EDITION) . PLUMBING CODE (2022 EDITION)
- . ENERGY CODE (2022 EDITION) . FIRE CODE (2022 EDITION 3. GREEN BUILDING CODES (2022 EDITION)

14. COUNTY OF FRESNO ORDINANCE CODE, TITLE 15 THE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED IN CONFORMANCE WITH THE ABOVE REGULATIONS AND CODES. THE CONTRACTOR AND SUB-CONTRACTORS MUST BE FAMILIAR WITH ALL REGULATIONS AND CODES AFFECTING THEIR PORTION OF THE WORK.

PROJECT NOTES

SPECIFICALLY OMITTED FROM THE SERVICES OF RICHARD TORRES RESIDENTIAL DESIGNS ARE ALL DESIGN AND REVIEW SERVICES RELATING TO THE CONTRACTOR'S, SUB-CONTRACTOR'S, OR SUB-SUB CONTRACTOR'S SAFETY PRECAUTIONS OR TO THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED FOR THE CONTRACTOR TO PERFORM HIS OR HER WORK, BUT NOT RELATING TO THE FINAL OR COMPLETED STRUCTURE. OMITTED SERVICES INCLUDE, BUT NOT LIMITED TO SHORING, SCAFFOLDING, UNDERPINNING,

TEMPORARY RETAINMENT OF EXCAVATIONS AND ANY ERECTION METHODS AND BRACING. IT IS THE INTENTION OF THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS TO COVER ALL AREAS REQUIRED TO FORM COMPLETE AND OPERATIVE SYSTEMS. THE CONTRACTOR IS REQUIRED TO FURNISH ALL LABOR, MATERIALS, TRANSPORTATION, EQUIPMENT AND MISCELLANEOUS SERVICES, ETC. REQUIRED TO ACCOMPLISH THIS TASK. ITEMS OR WORK

TO BE INCLUDED, WHETHER OR NOT SPECIFICALLY SHOWN OR MENTIONED. DRAWING ORGANIZATION THE ORGANINIZATION OF THE CONSTRUCTION DOCUMENTS IS NOT INTENDED TO CONTROL THE

THE CONSCTRUCTION DOCUMENTS COVER MOST ANTICIPATED CONSTRUCTION CONDITIONS AND CONDITIONS DEEMED UNUSUAL - IF CONDITIONS ARISE OR ARE DISCOVERED DURING THE OURSE OF CONSTRUCTION THAT ARE NOT ADDRESSED IN THE CONSTRUCTION DOCUMENTS, HE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGNER PRIOR TO PROCEEDING.

EXPRESS WRITTEN PERMISSION OF RICHARD TORRES RESIDENTIAL DESIGNS. DOCUMENTS PREPARED BY RICHARD TORRES RESIDENTIAL DESIGNS ARE AND SHALL REMAIN THE SOLE PROPERTY OF RICHARD TORRES RESIDENTAIL DESIGNS.

SITE NOTES

- SITE TO BE GRADED SO AS TO MEET THE FOLLOWING: A. PROVIDE A MINIMUM SLOPE OF 2% AWAY FROM THE BUILDING FOR A MINIMUM DISTANCE OF 5'-0".
- B. PREVENT PUDDLING OF WATER ON SITE.
- C. NO DRAINAGE TO BE TAKEN TO ADJACENT PROPERTY.
- D. CONFORM TO THE C.B.C. AS AMENDED BY THE LOCAL BUILDING AUTHORITY.
- E. GRADE DIFFERENTIALS GREATER THAN 12" SHALL BE SUPPORTED BY AN APPROVED RETAINING WALL.
- F. 0.5% MINIMUM SLOPE FOR THE ENTIRE SITE.
- G. FINISH FLOOR TO BE +12" ABOVE FLOWLINE OF GUTTER.

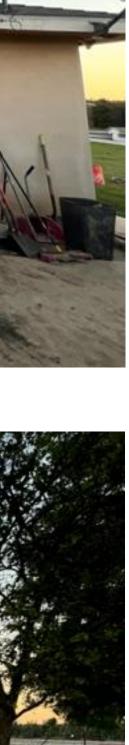
THE GRADE MAY BE INCREASED TO A MAXIMUM OF 20% FOR PAVED SURFACES. CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL DIMENSIONS AND REPORT ANY

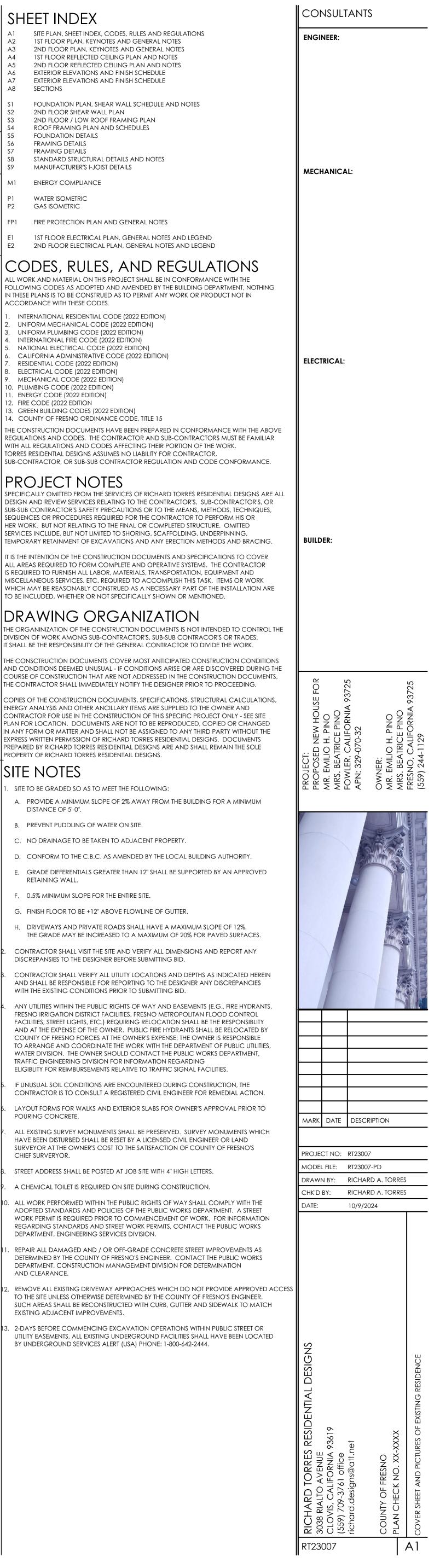
DISCREPANSIES TO THE DESIGNER BEFORE SUBMITTING BID.

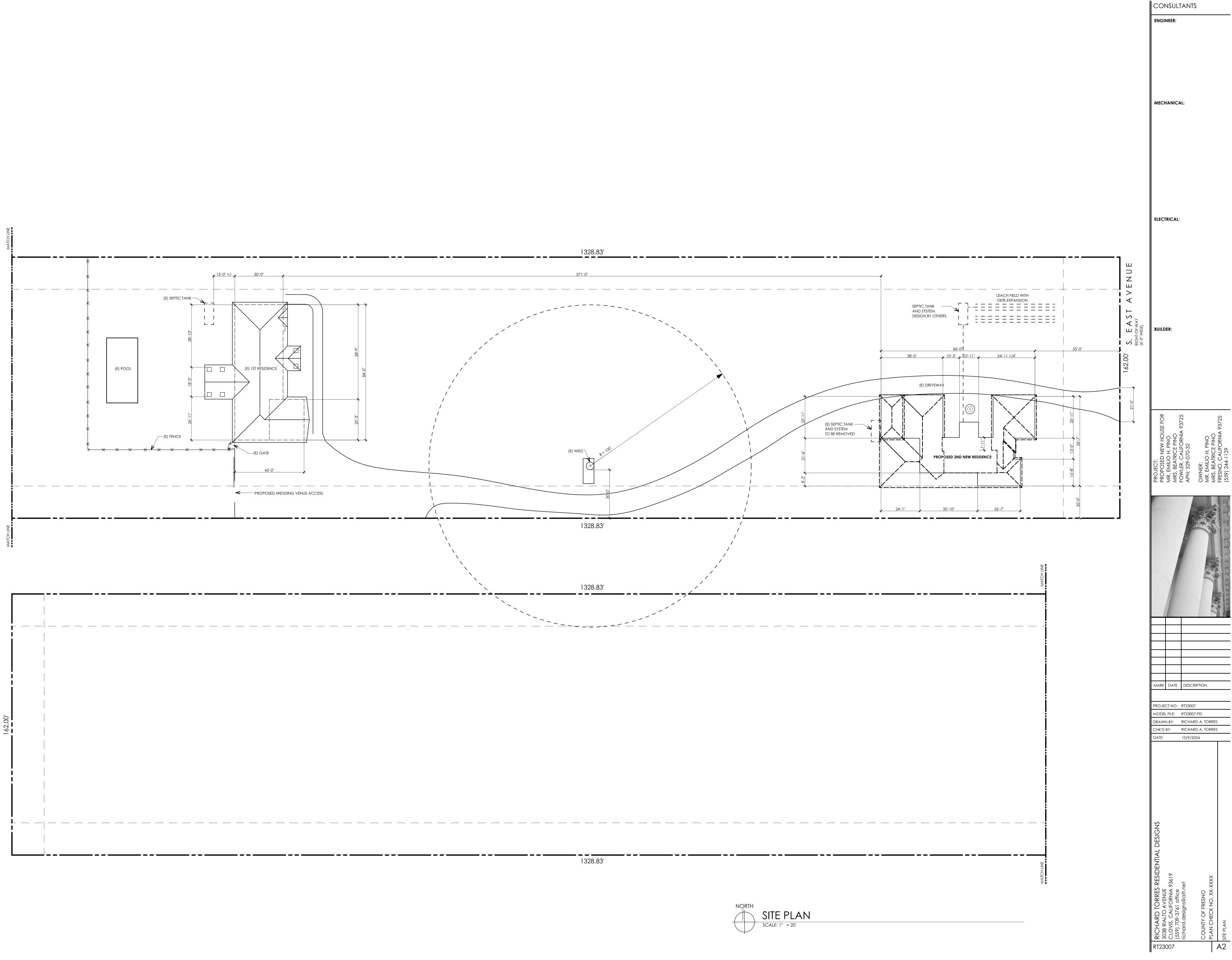
CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND DEPTHS AS INDICATED HEREIN AND SHALL BE RESPONSIBLE FOR REPORTING TO THE DESIGNER ANY DISCREPANCIES WITH THE EXISTING CONDITIONS PRIOR TO SUBMITTING BID.

ANY UTILITIES WITHIN THE PUBLIC RIGHTS OF WAY AND EASEMENTS (E.G., FIRE HYDRANTS, FRESNO IRRIGATION DISTRICT FACILITIES, FRESNO METROPOLITAN FLOOD CONTROL FACILITIES, STREET LIGHTS, ETC.) REQUIRING RELOCATION SHALL BE THE RESPONSIBLITY AND AT THE EXPENSE OF THE OWNER. PUBLIC FIRE HYDRANTS SHALL BE RELOCATED BY COUNTY OF FRESNO FORCES AT THE OWNER'S EXPENSE; THE OWNER IS RESPONSIBLE TO ARRANGE AND COORDINATE THE WORK WITH THE DEPARTMENT OF PUBLIC UTILITIES, WATER DIVISION. THE OWNER SHOULD CONTACT THE PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING DIVISION FOR INFORMATION REGARDING

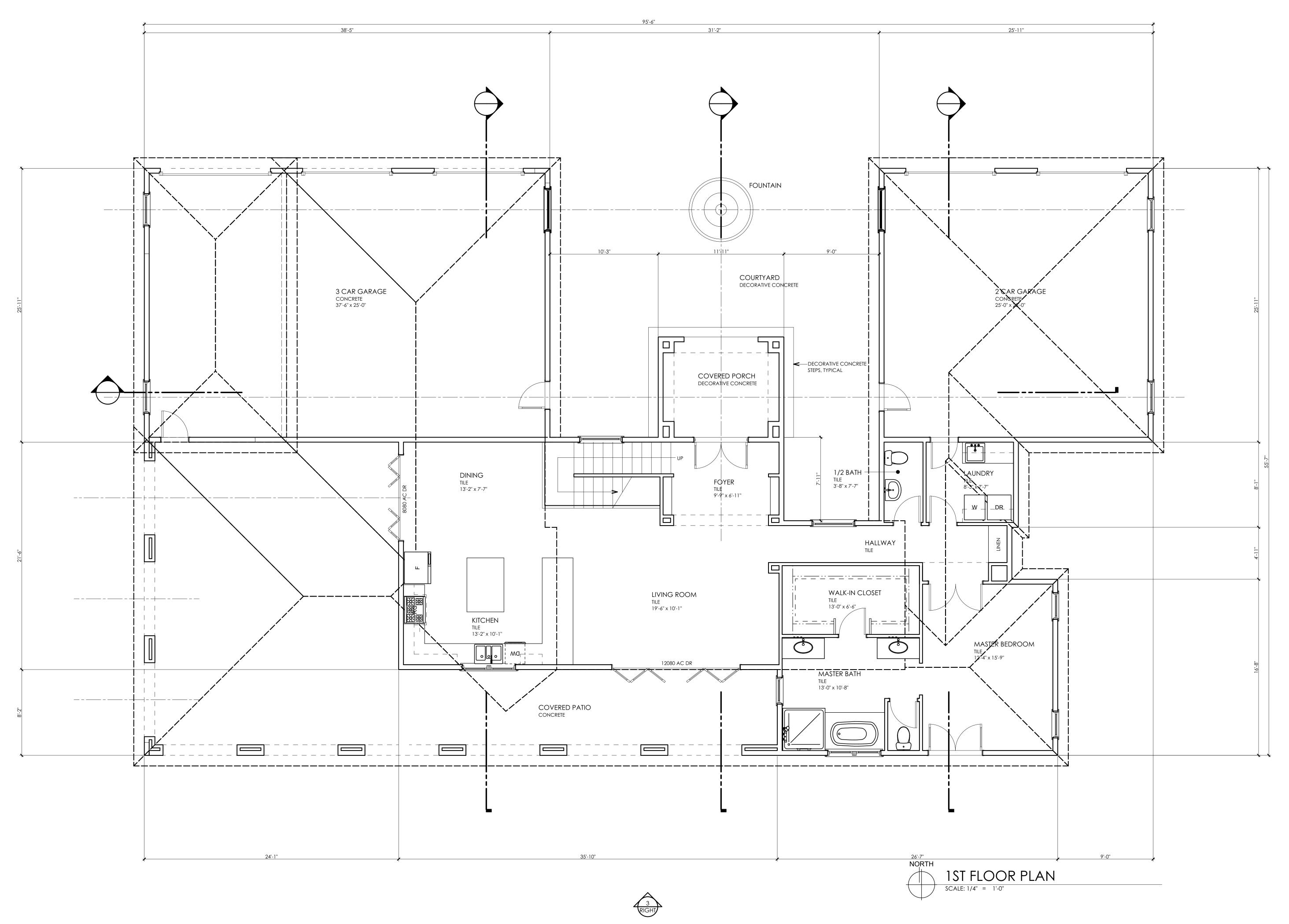
- ELIGIBLITY FOR REIMBURSEMENTS RELATIVE TO TRAFFIC SIGNAL FACILITIES. IF UNUSUAL SOIL CONDITIONS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR IS TO CONSULT A REGISTERED CIVIL ENGINEER FOR REMEDIAL ACTION.
- LAYOUT FORMS FOR WALKS AND EXTERIOR SLABS FOR OWNER'S APPROVAL PRIOR TO POURING CONCRETE.
- ALL EXISTING SURVEY MONUMENTS SHALL BE PRESERVED. SURVEY MONUMENTS WHICH HAVE BEEN DISTURBED SHALL BE RESET BY A LICENSED CIVIL ENGINEER OR LAND SURVEYOR AT THE OWNER'S COST TO THE SATISFACTION OF COUNTY OF FRESNO'S CHIEF SURVERYOR.
- STREET ADDRESS SHALL BE POSTED AT JOB SITE WITH 4" HIGH LETTERS.
- A CHEMICAL TOILET IS REQUIRED ON SITE DURING CONSTRUCTION. ALL WORK PERFORMED WITHIN THE PUBLIC RIGHTS OF WAY SHALL COMPLY WITH THE ADOPTED STANDARDS AND POLICIES OF THE PUBLIC WORKS DEPARTMENT. A STREET
- WORK PERMIT IS REQUIRED PRIOR TO COMMENCEMENT OF WORK. FOR INFORMATION REGARDING STANDARDS AND STREET WORK PERMITS, CONTACT THE PUBLIC WORKS DEPARTMENT, ENGINEERING SERVICES DIVISION. REPAIR ALL DAMAGED AND / OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE COUNTY OF FRESNO'S ENGINEER. CONTACT THE PUBLIC WORKS
- DEPARTMENT, CONSTRUCTION MANAGEMENT DIVISION FOR DETERMINATION AND CLEARANCE. REMOVE ALL EXISTING DRIVEWAY APPROACHES WHICH DO NOT PROVIDE APPROVED ACCESS
- TO THE SITE UNLESS OTHERWISE DETERMINED BY THE COUNTY OF FRESNO'S ENGINEER. UCH AREAS SHALL BE RECONSTRUCTED WITH CURB, GUTTER AND SIDEWALK TO MATC EXISTING ADJACENT IMPROVEMENTS.
- 2-DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN PUBLIC STREET OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA) PHONE: 1-800-642-2444.







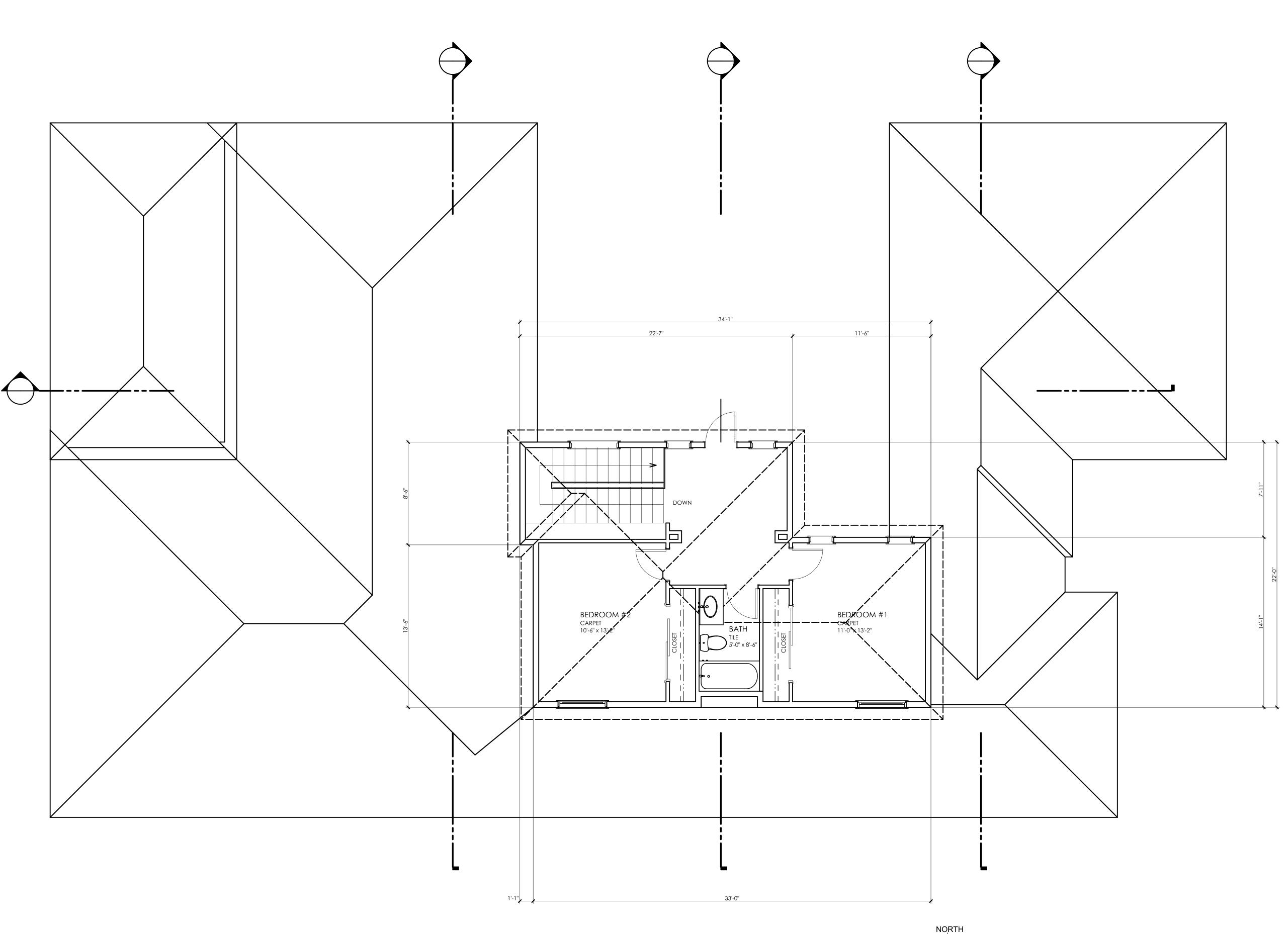






2 RIGHT

CONSULTANTS ENGINEER: MECHANICAL: ELECTRICAL: BUILDER: OWNER: MR. EMILIO H. MRS. BEATRICI FRESNO, CALII 1559) 244-1129 PROJECT: PROPOSED N MR. EMILIO H MRS. BEATRIG FOWLER, CA APN: 329-070 MARK DATE DESCRIPTION PROJECT NO: RT23007 MODEL FILE: RT23007-PD DRAWN BY: RICHARD A. TORRES CHK'D BY: RICHARD A. TORRES DATE: 10/9/2024 RICHARD TORRES RESIDE 3038 RIALTO AVENUE CLOVIS, CALIFORNIA 93619 (559) 709-3761 office richard.designs@att.net COUNTY OF FRESNO PLAN CHECK NO. XX-XXX IST FLOOR PLAN



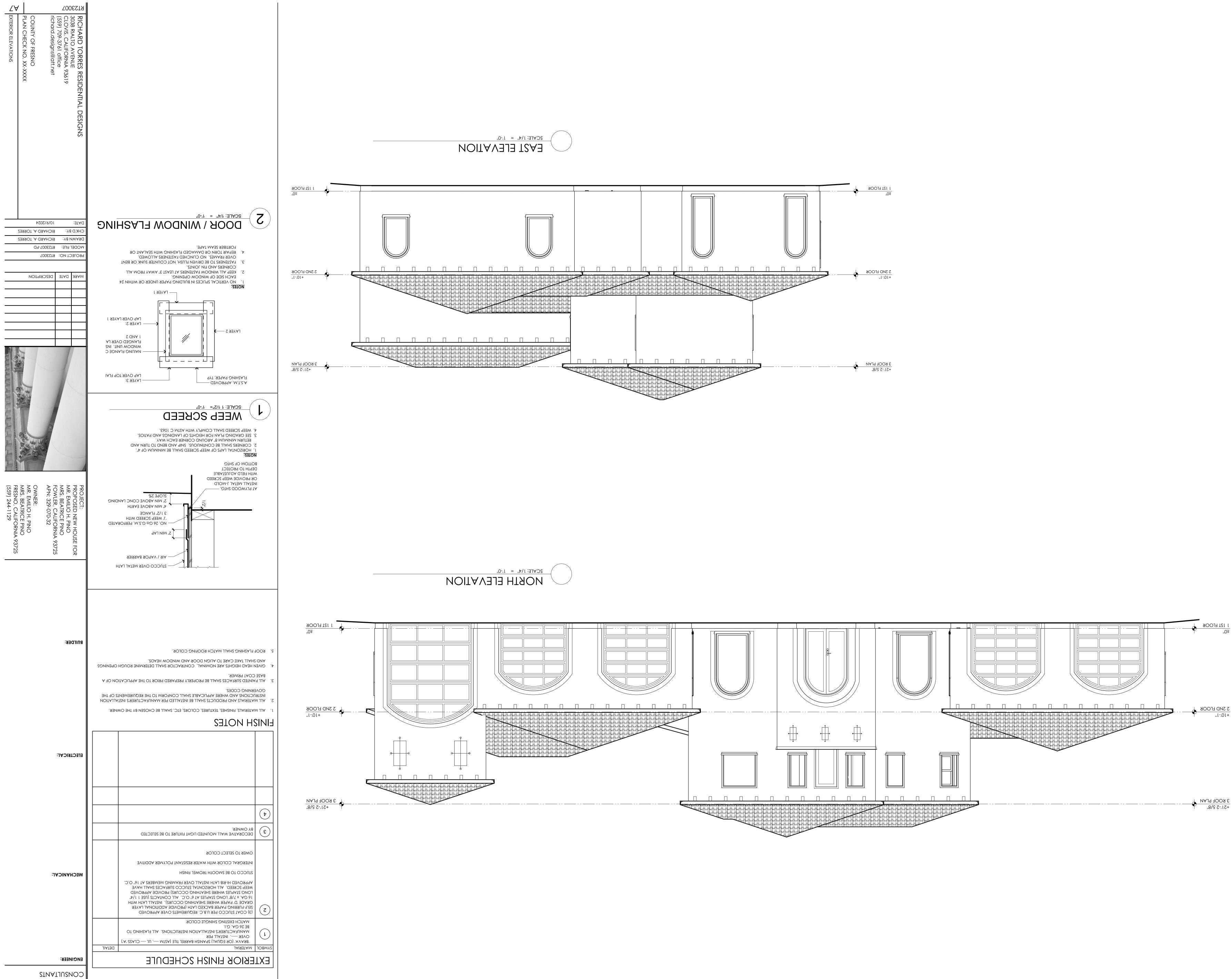
4 RIGHT RIGHT

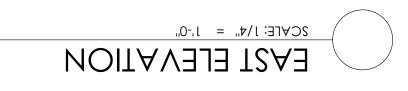


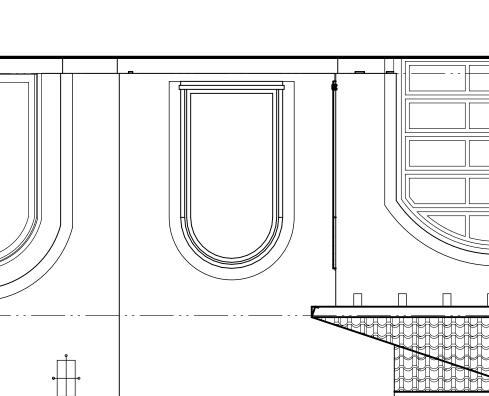
SCALE: 1/4" = 1'-0"

CONSULTANTS ENGINEER: MECHANICAL: ELECTRICAL: BUILDER: LIO H. ATRIC. CALI 4-112 $\Box C$ OWNER: MR. EMILIG MRS. BEA1 FRESNO, ((559) 244-PRO AR. MARK DATE DESCRIPTION PROJECT NO: RT23007 MODEL FILE: RT23007-PD DRAWN BY: RICHARD A. TORRES CHK'D BY: RICHARD A. TORRES DATE: 10/9/2024 RICHARD TORRES RESIDEN RICHARD TORRES RESIDEN 3038 RIALTO AVENUE CLOVIS, CALIFORNIA 93619 (559) 709-3761 office richard.designs@aft.net COUNTY OF FRESNO PLAN CHECK NO. XX-XXX P2ND FLOOR PLAN

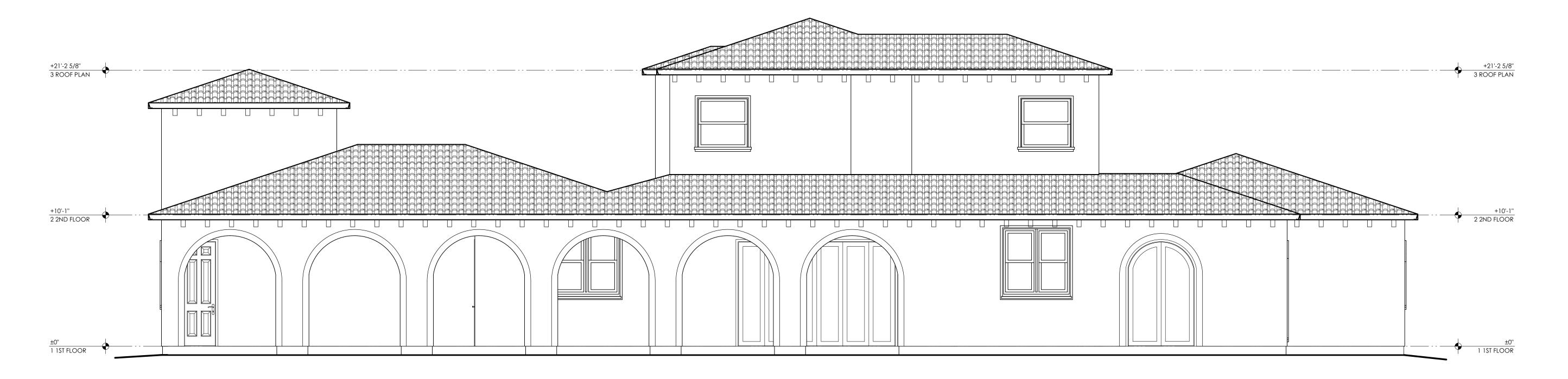
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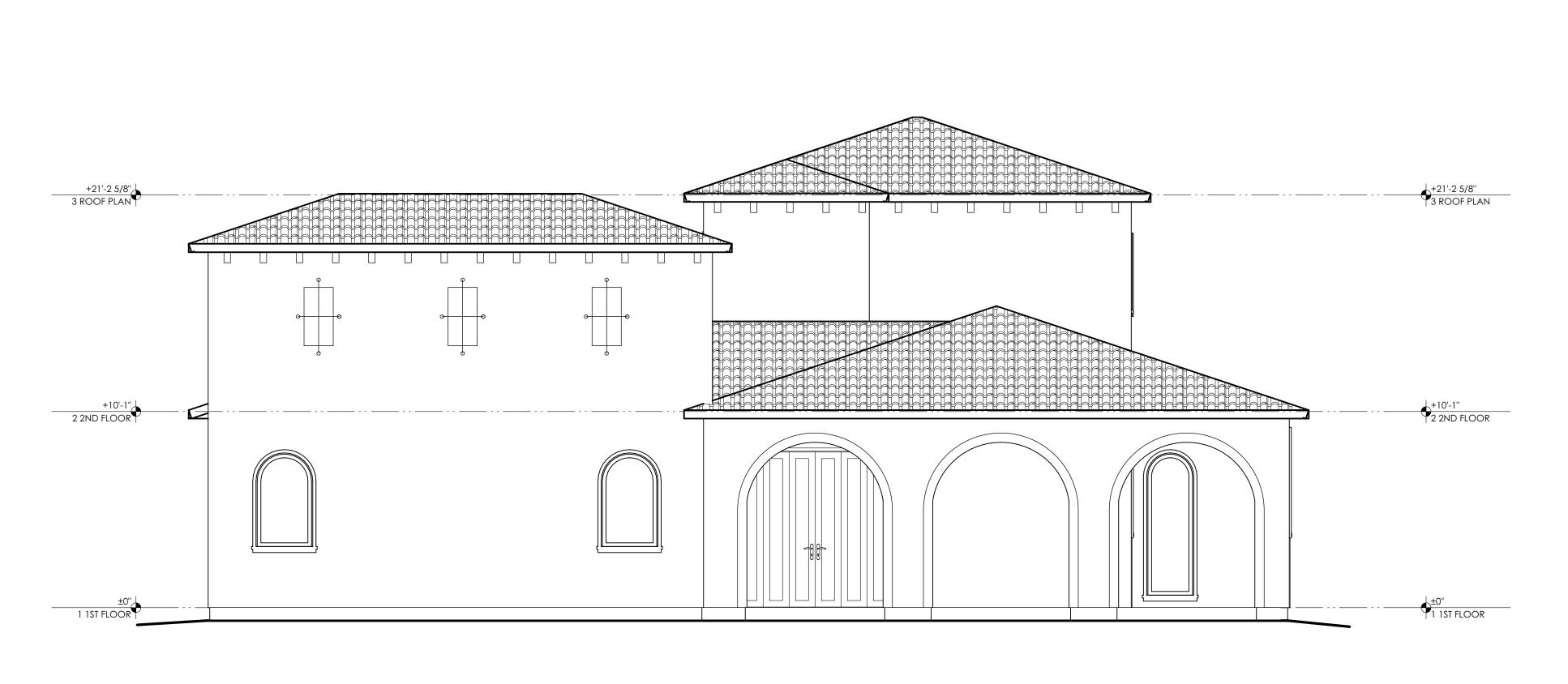




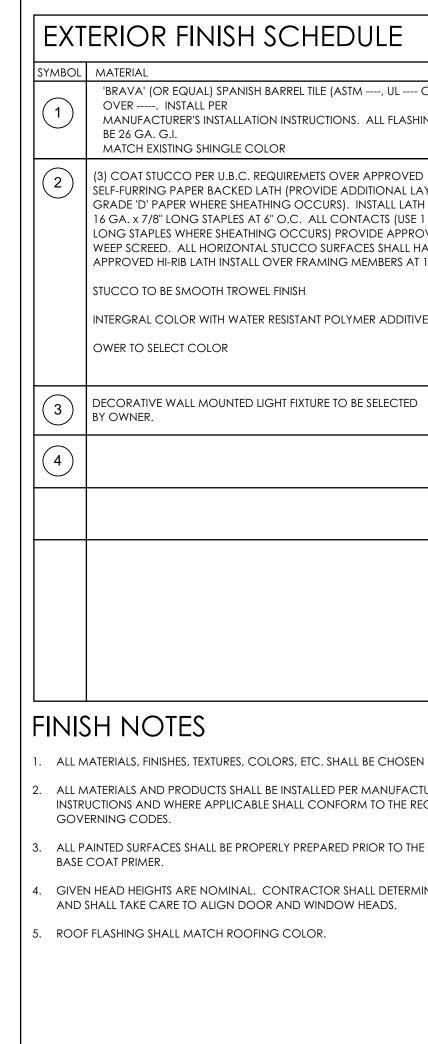
3 KOOF PLAN +21'-2 5/8''











SOUTH ELEVATION SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

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		PROJECT: PROPOSED NEW HOUSE FOR MR. EMILIO H. PINO MRS. BEATRICE PINO FOWLER, CALIFORNIA 93725 APN: 329-070-32 APN: 329-070-32 OWNER: MR. EMILIO H. PINO MR. EMILIO H. PINO MR. EMILIO H. PINO MR. EMILIO H. PINO FRESNO, CALIFORNIA 93725 (559) 244-1129
		MARK DATE DESCRIPTION
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		RICHARD TORRES RESIDENTIAL DESIGNS 3038 RIALTO AVENUE CLOVIS, CALIFORNIA 93619 (559) 709-3761 office richard.designs@aft.net richard.designs@aft.net COUNTY OF FRESNO PLAN CHECK NO. XX-XXXX FLAN CHECK NO. XX-XXXX EXTERIOR ELEVATIONS
		 RICHARD TORRE RICHARD TORRE 3038 RIALTO AVENU CLOVIS, CALIFORNI (559) 709-3761 offic (559) 709-3761 offic richard.designs@at richard.designs@at PLAN CHECK NO. X PLAN CHECK NO. X RETERIOR ELEVATIONS

PROPOSED NEW HOUSE FOR MR. EMILIO H. PINO MRS. BEATRICE PINO 4637 S. EAST AVENUE FRESNO, CALIFORNIA 93725 A.P.N. No. 329-070-32



EAST ELEVATION LEFT



WEST ELEVATION

IMAGES OF EXISTING RESIDENCE



NORTH ELEVATION

EAST ELVATION_LEFT

SOUTH ELEVATION









