



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

DATE: October 21, 2024

TO: Department of Public Works and Planning, Attn: Steven E. White, Director
Department of Public Works and Planning, Attn: Bernard Jimenez,
Planning and Resource Management Officer
Development Services and Capital Projects, Attn: William M. Kettler,
Deputy Director Planning
Development Services and Capital Projects, Attn: Chris Motta, Division Manager
Development Services and Capital Projects, Attn: Tawanda Mtunga,
Principal Planner
Development Services and Capital Projects, Attn: James Anders,
Principal Planner
Development Services and Capital Projects, Current Planning, Attn: David Randall,
Senior Planner
Development Services and Capital Projects, Policy Planning, Attn:
Mohammad Khorsand, Senior Planner; Dominique Navarrette, Planner
Development Services and Capital Projects, Zoning & Permit Review,
Attn: Daniel Gutierrez, Senior Planner
Development Services and Capital Projects, Development Engineering,
Attn: Laurie Kennedy, Office Assistant III
Water and Natural Resources Division, Attn: Augustine Ramirez, Division
Manager; Roy Jimenez
Water and Natural Resources Division, Transportation Planning, Attn:
Hector Luna, Senior Planner/Brody Hines, Planner
Road Maintenance and Operations Division, Attn: Wendy Nakagawa,
Supervising Engineer
Department of Public Health, Environmental Health Division, Attn: Deep
Sidhu, Supervising Environmental Health Specialist; Kevin Tsuda,
Environmental Health Specialist
Central Valley Regional Water Quality Control Board; Attn:
centralvalleyfresno@waterboards.ca.gov
California Department of Fish and Wildlife, Attn: R4CEQA@wildlife.ca.gov
Fresno County Fire District, Attn: fkp.prevention-planning@fire.ca.gov
Fresno Irrigation District, Attn: Lawrence Kimura, Chief Engineer
Engr-Review@fresnoirrigation.com

FROM: Arianna Brown, Planner
Development Services and Capital Projects Division

SUBJECT: Director Review and Approval No. 4787

APPLICANT: Beatrice Pino

DUE DATE: **November 4, 2024**

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject application proposing to allow a second residence on a substandard 4.89-acre parcel located within the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District. Second residence not to exceed 2,000 square feet of living area. Owner of record to occupy one of the homes on-site.

The subject parcel is located on the east side of S. East Ave and north of E. American Ave. The property is approximately 1.05 miles from the limits of the City of Fresno. (APN: 329-070-32) (4637 S. Academy) (Sup. Dist. 3).

Based upon this review, a determination will be made regarding conditions to be imposed on the project, including necessary on-site and off-site improvements.

We must have your comments by **November 4, 2024**. Any comments received after this date may not be used.

If you do not have comments, please provide a “NO COMMENT” response to our office by the above deadline (e-mail is also acceptable; see email address below).

Please address any correspondence or questions related to environmental and/or policy/design issues to me, Arianna Brown, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or call (559) 600-4245, or email arbrown@fresnocountyca.gov.

AB

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Activity Code (Internal Review): 2392

Enclosures



Fresno County Department of Public Works and Planning

Date Received: 10/10/2024
4787
(Application No.)

MAILING ADDRESS:
Department of Public Works and Planning
Development Services and Capital Projects Division
2220 Tulare St., 6th Floor
Fresno, Ca. 93721

LOCATION:
Southwest corner of Tulare & "M" Streets, Suite A
Street Level
Fresno Phone: (559) 600-4497

APPLICATION FOR:

- Pre-Application (Type) [X] DRA - Second Residence
Amendment Application []
Amendment to Text []
Conditional Use Permit []
Variance (Class)/Minor Variance []
Site Plan Review/Occupancy Permit []
No Shoot/Dog Leash Law Boundary []
General Plan Amendment/Specific Plan/SP Amendment []
Time Extension for []
Director Review and Approval []
for 2nd Residence []
Determination of Merger []
Agreements []
ALCC/RLCC []
Other []

DESCRIPTION OF PROPOSED USE OR REQUEST:

[Empty box for description of proposed use or request]

CEQA DOCUMENTATION: [] Initial Study [] PER [] N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. Attach Copy of Deed, including Legal Description.

LOCATION OF PROPERTY: The north 1/3 side of the south 3/4 of lot 16
between American Ave and Central Ave
Street address:

APN: 329-070-32 Parcel size: Section(s)-Twp/Rg: S - T S/R E

ADDITIONAL APN(s):

Beatrice Pino (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

Owner (Print or Type) Beatrice Pino Address 4037 S. East Ave City Fresno Zip 93725 Phone 559-244-1129
Applicant (Print or Type) Emilio H. Pino Address Same City Fresno Zip 93706 Phone 559-696-6972
Representative (Print or Type) Elijah J. Pino Address 509 E. Britten City Fresno Zip 93706 Phone 559-653-7018

CONTACT EMAIL: Bea@electricalpowerSourceinc.com

OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

Application Type / No.: Dir. Review & App Residential Fee: \$ 1570.00
Application Type / No.: Fee: \$
Application Type / No.: Fee: \$
Application Type / No.: Fee: \$
PER/Initial Study No.: Fee: \$
Ag Department Review: Fee: \$
Health Department Review: Fee: \$ 432
Received By: [Signature] Invoice No.: 319141 TOTAL: \$ 2002.00

UTILITIES AVAILABLE:

WATER: Yes [X] / No []
Agency: Well
SEWER: Yes [] / No [X] (Septic)
Agency:

STAFF DETERMINATION: This permit is sought under Ordinance Section: Sect-Twp/Rg: - T S/R E

Related Application(s):
Zone District:
Parcel Size:
APN #
APN #
APN #
APN #
over.....



Development Services
and
Capital Projects
Division

Email to: bea@electricalpowersourceinc.com

Pre-Application Review

Department of Public Works and Planning

NUMBER: 21-097012
APPLICANT: Beatrice Pino
PHONE: (559) 244-1129

PROPERTY LOCATION: 4637 S EAST AVE, FRESNO, CA 93706
APN(s): 329-070-32 ALCC: No Yes # VIOLATION NO. NONE
CNEL: No Yes (level) LOW WATER: No Yes WITHIN 1/2 MILE OF CITY: No Yes
ZONE DISTRICT: AE-20; SRA: No Yes HOMESITE DECLARATION REQ'D.: No Yes
LOT STATUS:

Zoning: () Conforms; (✓) Legal Non-Conforming lot; () Deed Review Req'd (see Form #236)
Merger: May be subject to merger: No Yes ZM# Initiated In process
Map Act: () Lot of Rec. Map; () On '72 rolls; (✓) Other permit history; () Deeds Req'd (see Form #236)

SCHOOL FEES: No Yes ✓ DISTRICT: Orange Center Elementary, Washington Union PERMIT JACKET: No Yes x
FMFCD FEE AREA: (✓) Outside () District No.: FLOOD PRONE: No x Yes

PROPOSAL DRA to allow a second residence on a 4.89-acre parcel in the AE-20 Zone District. Second residence not to exceed 2,000 sq. ft. of living area. Owner of record must occupy one of the two homes on site.

COMMENTS: Proposed second residence will replace (E) 2nd res [DRA 3778] and primary residence to be reduced to 2,000 sq. ft. living space.
ORD. SECTION(S): 816.2-W, 855-N.29 BY: H. KAUR DATE: 7/14/21

GENERAL PLAN POLICIES:

LAND USE DESIGNATION: Agriculture () GPA: _____ () MINOR VA: _____
COMMUNITY PLAN: _____ () AA: _____ (x) HD: 432.00
REGIONAL PLAN: _____ () JCUP: _____ (x) AG COMM: 25.00
SPECIFIC PLAN: _____ (x) DRA: \$785.00 (Hand) () ALCC: _____
SPECIAL POLICIES: _____ () VA: _____ () IS/PER*: _____
SPHERE OF INFLUENCE: _____ () AT: _____ () Viol. (35%): _____
ANNEX REFERRAL (LU-G17/MOU): _____ () JT: _____ () Other: _____

PROCEDURES AND FEES:

COMMENTS: _____
Filing Fee: \$ 1,242.00
Pre-Application Fee: - \$247.00
Total County Filing Fee: 1,242.00

FILING REQUIREMENTS:

- (x) Land Use Applications and Fees
- (x) This Pre-Application Review form
- (x) Copy of Deed / Legal Description
- (x) Photographs
- () Letter Verifying Deed Review
- () IS Application and Fees* * Upon review of project materials, an Initial Study (IS) with fees may be required.
- (x) Site Plans - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- (x) Floor Plan & Elevations - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- () Project Description / Operational Statement (Typed)
- () Statement of Variance Findings
- () Statement of Intended Use (ALCC)
- () Dependency Relationship Statement
- () Resolution/Letter of Release from City of _____
Referral Letter # _____

OTHER FILING FEES:

- () Archaeological Inventory Fee: \$75 at time of filing
(Separate check to Southern San Joaquin Valley Info. Center)
- () CA Dept. of Fish & Wildlife (CDFW): (\$50+\$2,480.25)
(Separate check to Fresno County Clerk for pass-thru to CDFW.
Must be paid prior to IS closure and prior to setting hearing date.)

BY: _____ DATE: _____
PHONE NUMBER: (559) _____

NOTE: THE FOLLOWING REQUIREMENTS MAY ALSO APPLY:

- (x) COVENANT
- () MAP CERTIFICATE
- () PARCEL MAP
- () FINAL MAP
- () FMFCD FEES
- () ALUC or ALCC
- () SITE PLAN REVIEW
- (x) BUILDING PLANS
- (x) BUILDING PERMITS
- () WASTE FACILITIES PERMIT
- (x) SCHOOL FEES
- () OTHER (see reverse side)

PLU # 113 Fee: \$247.00
Note: This fee will apply to the application fee if the application is submitted within six (6) months of the date on this receipt.

OVER.....

RECORDING REQUESTED BY

AND WHEN RECORDED MAIL THIS DEED AND, UNLESS OTHERWISE SHOWN BELOW, MAIL TAX STATEMENTS TO:

NAME EMILIO H. PINO
STREET ADDRESS 4637 S. EAST AVE
CITY FRESNO
STATE CA
ZIP 93725

Title Order No. _____ Escrow No. _____

FRESNO County Recorder
Paul Dictos, C.P.A.

DOC- 2013-0163908

Tuesday, DEC 03, 2013 11:37:24

Ttl Pd \$22.00 Rpt # 0004017158
KJE/R6/1-2

SPACE ABOVE THIS LINE FOR RECORDER'S USE

GRANT DEED

DOCUMENTARY TRANSFER TAX \$ 0

computed on full value of property conveyed, or

computed on full value less liens and encumbrances remaining at time of sale.

Beatrice Pino
SIGNATURE OF DEEDMANT OR AGENT DETERMINING TAX FIRM NAME

FOR VALUABLE CONSIDERATION, receipt of which is acknowledged; I (We), Emilio H. Pino III

a married man as his sole and separate property
grant to Emilio H. Pino III and Beatrice Pino, husband and wife
as joint tenants

all that real property situated in the City of Fresno (or in an unincorporated area of Fresno County, State of CA, described as follows (insert legal description):

See exhibit A

Assessor's parcel No. 329-070-32
Executed on OCTOBER 25, 2013 at FRESNO, CALIFORNIA

[Signature]
(CITY AND STATE)
EMILIO H. PINO III

State of California
County of FRESNO

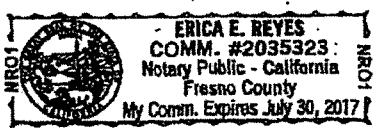
On OCTOBER 25, 2013 before me, ERICA E. REYES, NOTARY
(insert name and title of the officer)

personally appeared EMILIO H. PINO III
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

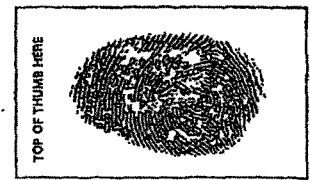
WITNESS my hand and official seal.

Signature Erica E. Reyes (Seal)



MAIL TAX STATEMENT TO: 463 S EAST AVENUE
FRESNO, CA 93725

RIGHT THUMBPRINT (Optional)



CAPACITY CLAIMED BY SIGNER(S)

INDIVIDUAL(S)

CORPORATE

OFFICERS (TITLES)

PARTNER(S) LIMITED GENERAL

ATTORNEY IN FACT

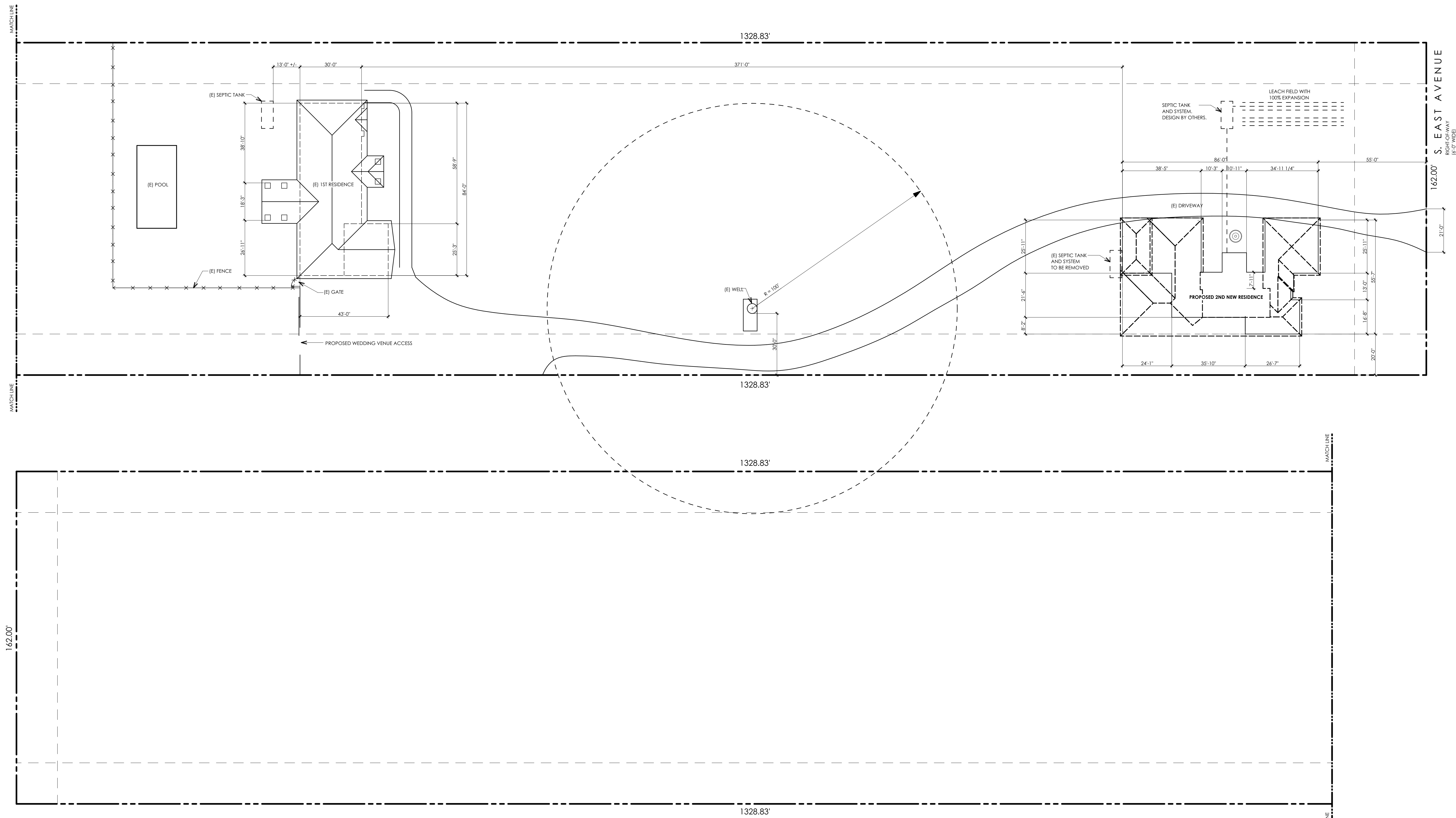
TRUSTEES

GUARDIAN/CONSERVATOR

OTHER

SIGNER IS REPRESENTING:
(NAME OF PERSON(S) OR ENTITY(IES)):

Before you use this form, fill in all blanks, and make whatever changes are appropriate and necessary to your particular transaction. Consult a lawyer if you doubt the form's fitness for your purpose and use. No representation or warranty, express or implied, with respect to the merchantability or fitness of this form for an intended use or purpose.



NORTH
SITE PLAN
 SCALE: 1" = 20'

CONSULTANTS

ENGINEER:

MECHANICAL:

ELECTRICAL:

BUILDER:

PROJECT:
 PROPOSED NEW HOUSE FOR
 MR. EMILIO H. PINO
 MRS. BEATRICE PINO
 FOWLER, CALIFORNIA 93725
 APN: 525-070-32

OWNER:
 MR. EMILIO H. PINO
 MRS. BEATRICE PINO
 FRESNO, CALIFORNIA 93725
 (559) 244-1129



MARK	DATE	DESCRIPTION

PROJECT NO: RT23007
 MODEL FILE: RT23007.PD
 DRAWN BY: RICHARD A. TORRES
 CHKD BY: RICHARD A. TORRES
 DATE: 10/9/2024

RICHARD TORRES RESIDENTIAL DESIGNS
 3038 RIALTO AVENUE
 CLOVIS, CALIFORNIA 93619
 (559) 709-3761 office
 richard.designs@att.net

COUNTY OF FRESNO
 PLAN CHECK NO. XX-XXXX

RT23007 SITE PLAN A2



MARK	DATE	DESCRIPTION

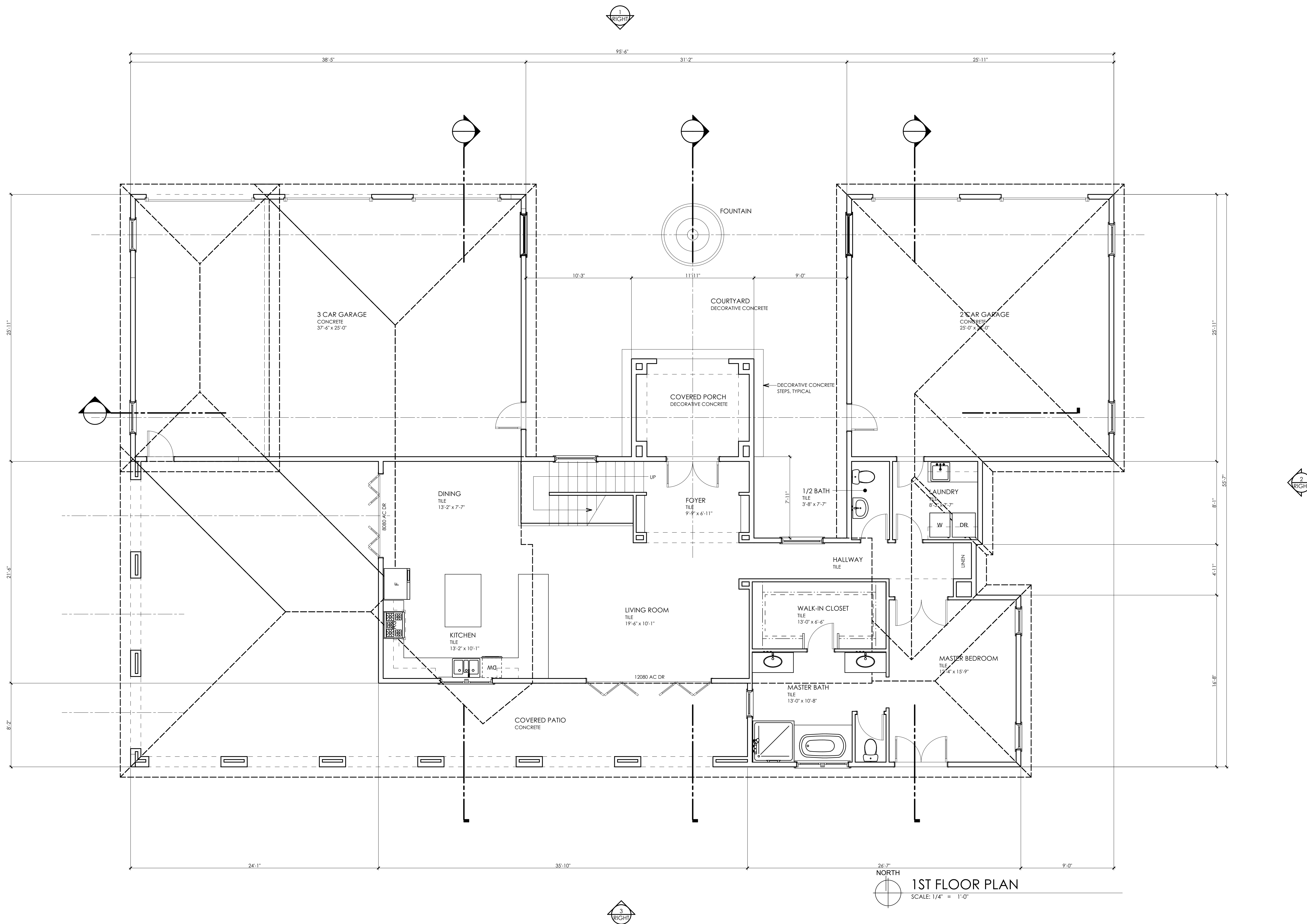
PROJECT NO: RT23007

MODEL FILE: RT23007.PD

DRAWN BY: RICHARD A. TORRES

CHKD BY: RICHARD A. TORRES

DATE: 10/9/2024



ENGINEER:

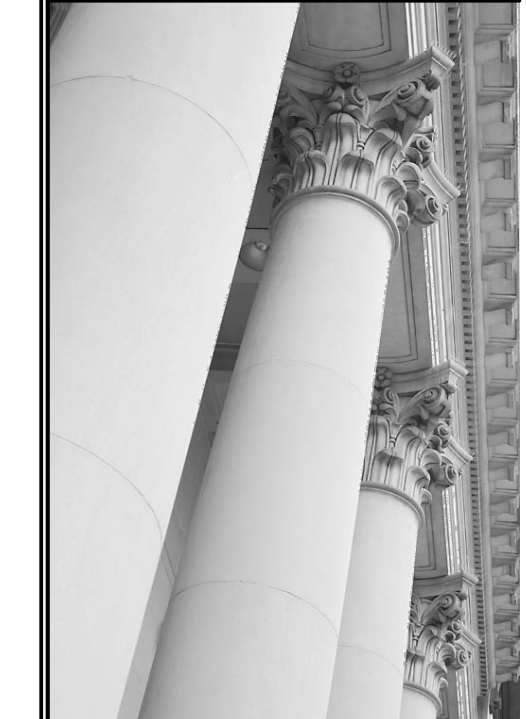
MECHANICAL:

ELECTRICAL:

BUILDER:

PROJECT:
 PROPOSED NEW HOUSE FOR
 MR. EMILIO H. PINO
 MRS. BEATRICE PINO
 FOWLER, CALIFORNIA 93725
 APN: S25-070-32

OWNER:
 MR. EMILIO H. PINO
 MRS. BEATRICE PINO
 FRESNO, CALIFORNIA 93725
 (559) 244-1129

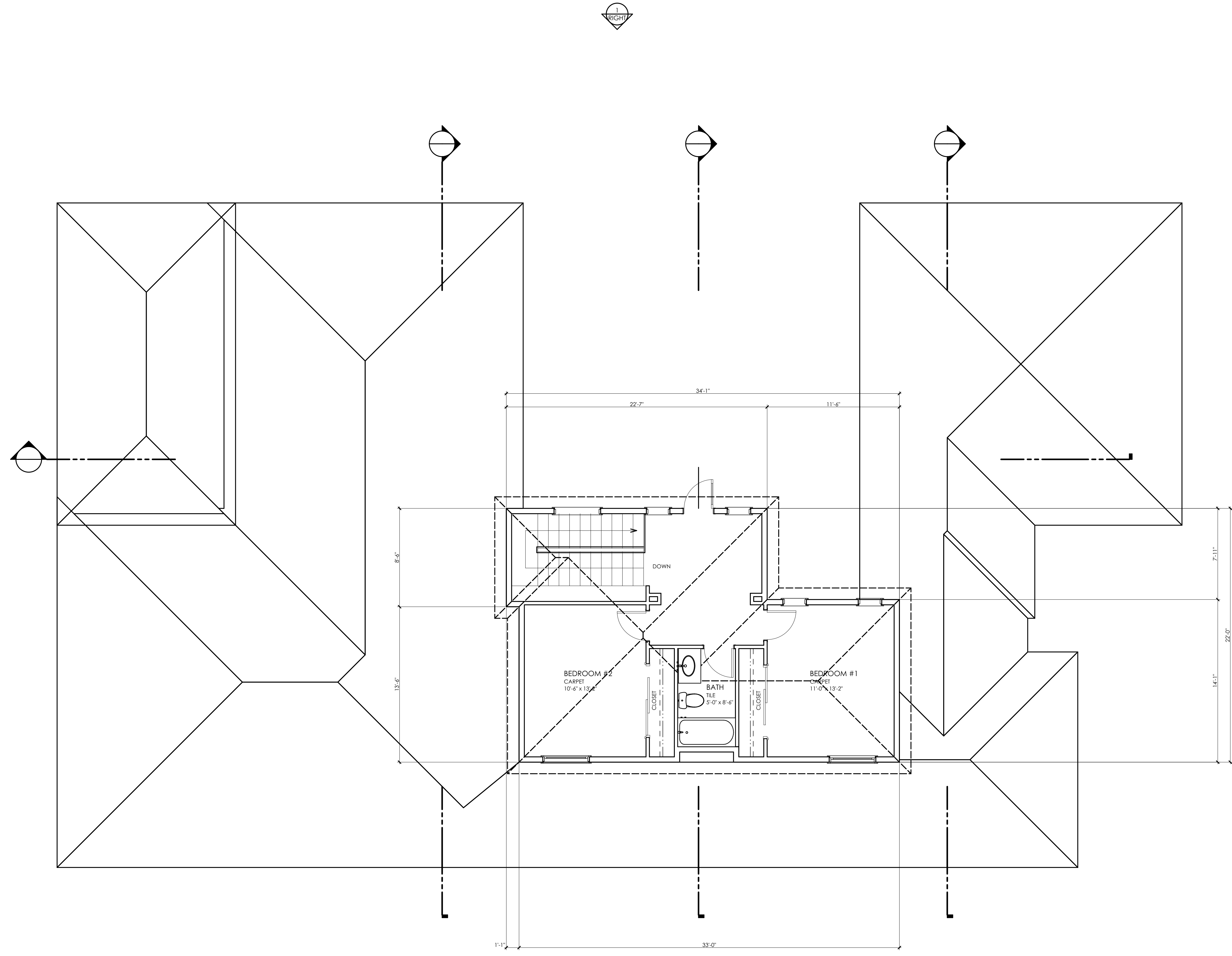


MARK	DATE	DESCRIPTION

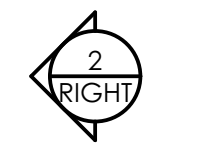
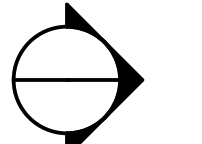
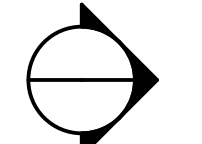
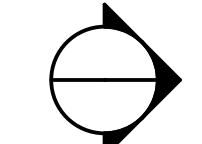
PROJECT NO: RT23007
 MODEL FILE: RT23007.PD
 DRAWN BY: RICHARD A. TORRES
 CHKD BY: RICHARD A. TORRES
 DATE: 10/9/2024

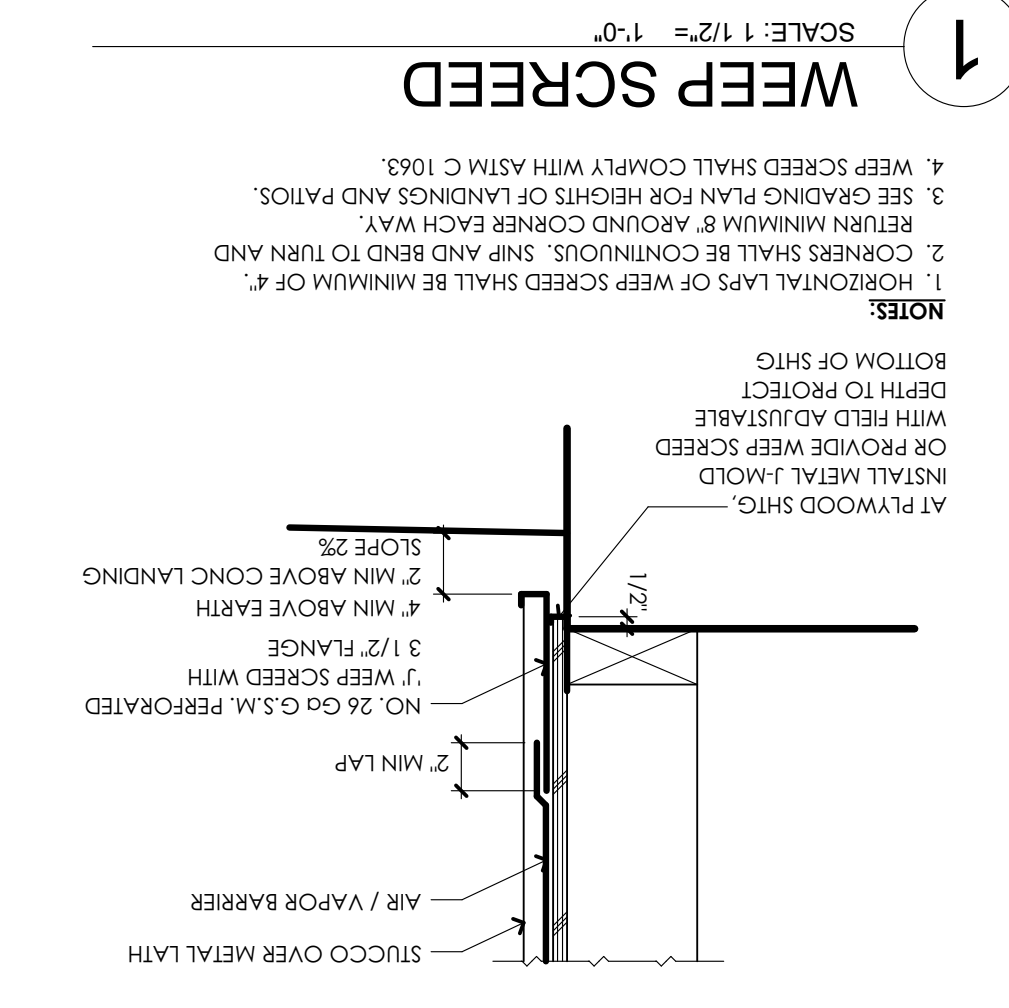
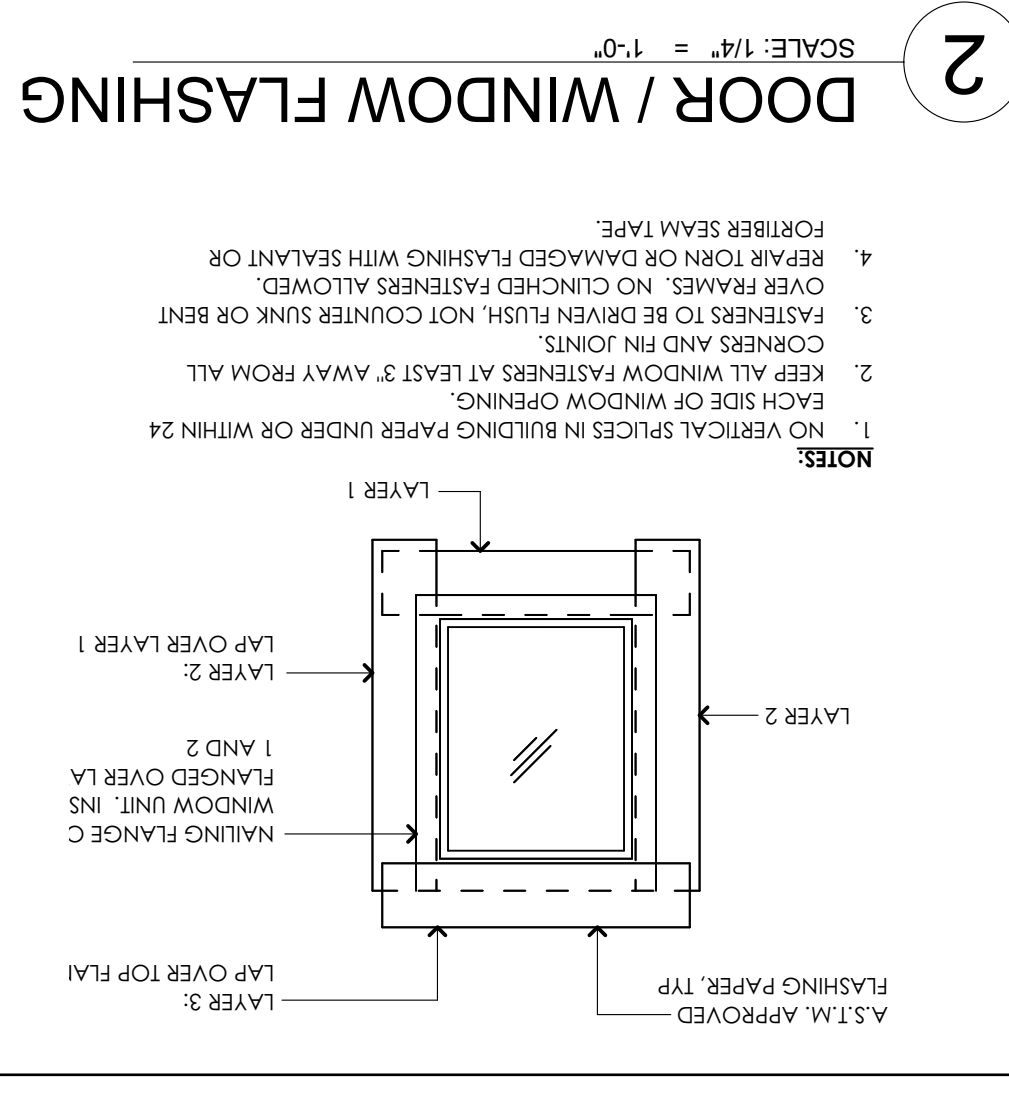
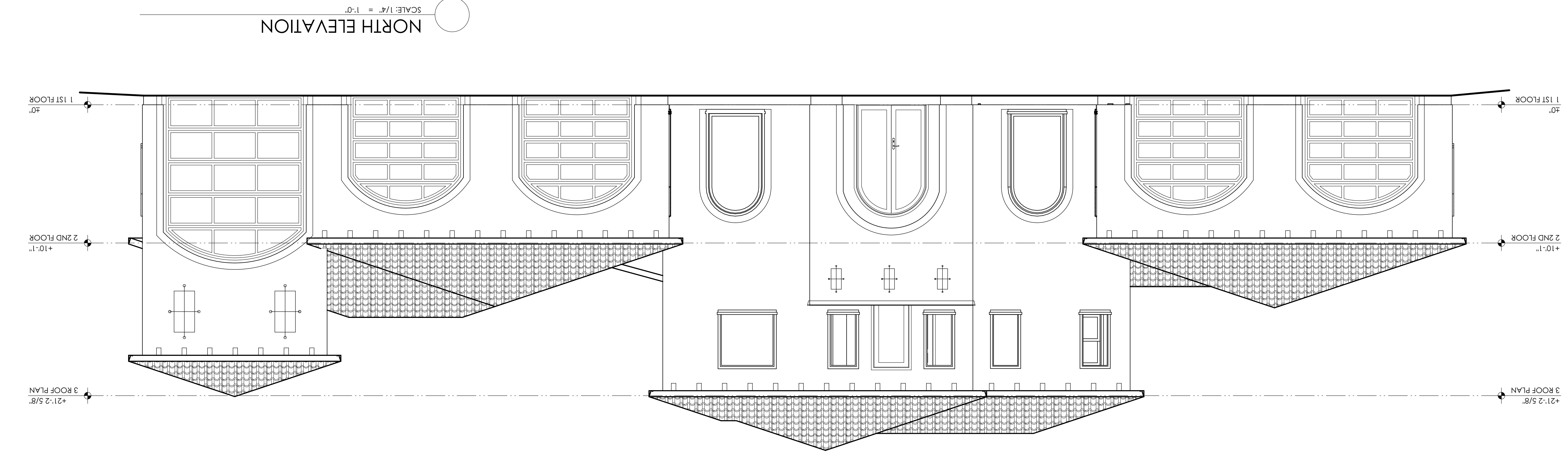
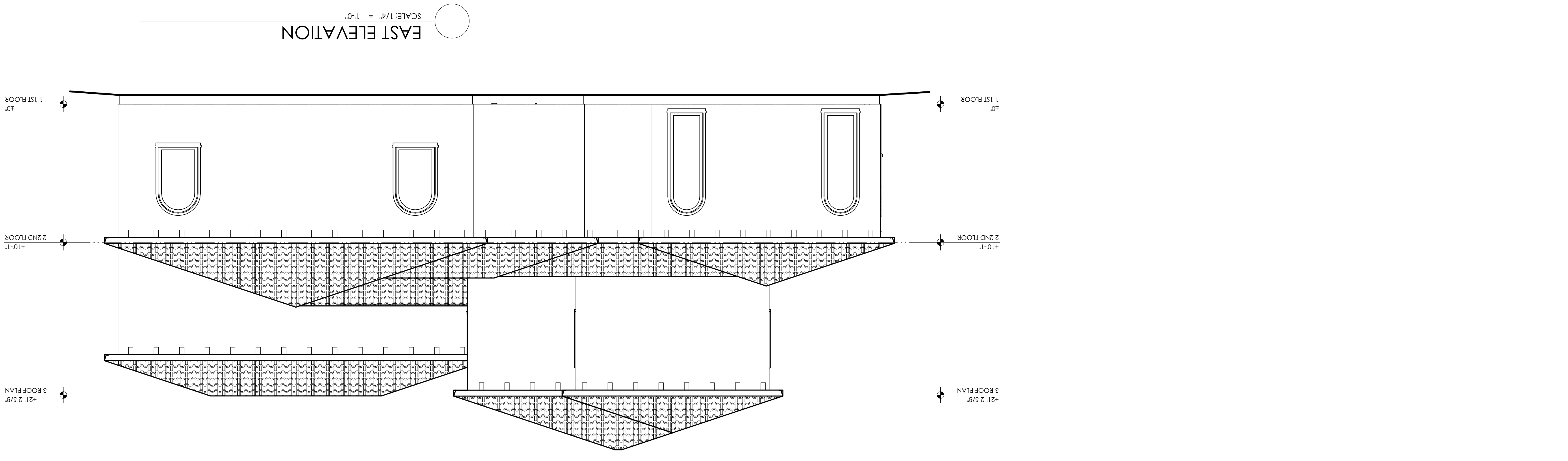
RICHARD TORRES RESIDENTIAL DESIGNS
 8038 RIALTO AVENUE
 CLOVIS, CALIFORNIA 93619
 (559) 709-3761 office
 richard.designs@att.net

COUNTY OF FRESNO
 PLAN CHECK NO. XX-XXXX
 2ND FLOOR PLAN



NORTH
2ND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

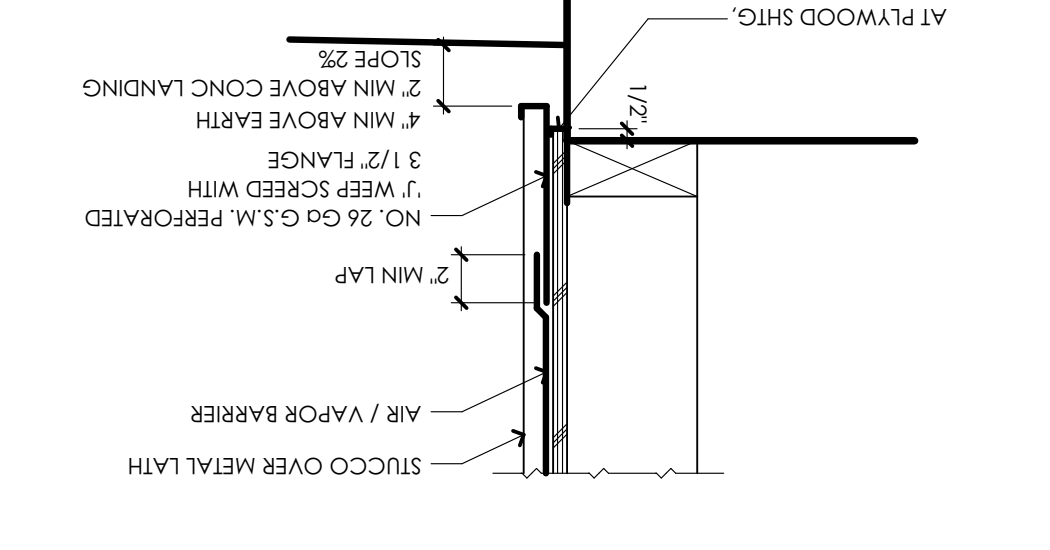




EXTERIOR FINISH SCHEDULE

SYMBOL	MATERIAL	DETAIL
1	STUCCO TO BE SMOOTH TROWEL FINISH	
2	STUCCO TO BE SMOOTH TROWEL FINISH	
3	DECORATIVE WALL MOUNTED LIGHT FIXTURE TO BE SELECTED BY OWNER	
4		

- FINISH NOTES**
1. ALL MATERIALS, FINISHES, TEXTURES, COLORS, ETC. SHALL BE CHOSEN BY THE OWNER.
 2. ALL MATERIALS AND PRODUCTS SHALL BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WHERE APPLICABLE SHALL CONFORM TO THE REQUIREMENTS OF THE GOVERNING CODES.
 3. BASE COAT PRIMER.
 4. AND SHALL TAKE CARE TO ALIGN DOOR AND WINDOW HEADS.
 5. ROOF FLASHING SHALL MATCH ROOFING COLOR.



- DOOR / WINDOW FLASHING**
- SCALE: 1/4" = 1'-0"
- NOTES:**
1. HORIZONTAL LAPS OF WEEP SCREED SHALL BE MINIMUM OF 4".
 2. CORNERS SHALL BE CONTINUOUS. 90° AND BEAD TO TURN AND RETURN MINIMUM 8" AROUND CORNER EACH WAY.
 3. SEE GRADING PLAN FOR HEIGHTS OF LANDINGS AND PATIOS.
 4. WEEP SCREED SHALL COMPLY WITH ASTM C 1063.
- NOTE:**
- NO VERTICAL SPICES IN BUILDING PAPER UNDER OR WITHIN 24" EACH SIDE OF WINDOW OPENING.
 2. KEEP ALL WINDOW FASTENERS AT LEAST 3" AWAY FROM ALL CORNERS AND FIN JOINTS.
 3. FASTENERS TO BE DRIVEN FLUSH, NOT COUNTER SUNK OR BENT OVER FRAMES. NO CLIMBED FASTENERS ALLOWED.
 4. REPAIR TORN OR DAMAGED FLASHING WITH SEALANT OR FORBIDDER SEAM TAPE.

PROJECT NO.: R173007
MODEL FILE: R173007.rvt
DRAWN BY: RICHARD A. TORRES
CHECK BY: RICHARD A. TORRES
DATE: 10/9/2024

RICHARD TORRES RESIDENTIAL DESIGNS
 3038 BAJO AVENUE
 CLOVIS, CALIFORNIA 93419
 (559) 709-3761 office
 richard.designs@att.net

COUNTY OF FRESNO
 PLAN CHECK NO. XX-XXXX
 EXTERIOR ELEVATIONS

MARK	DATE	DESCRIPTION



PROJECT:
 PROPOSED NEW HOUSE FOR
 MRS. EMILIO H. PINO
 MRS. BEATRICE PINO
 FOWLER CALIFORNIA 93725
 APN: 329-070-52

OWNER:
 MRS. EMILIO H. PINO
 MRS. BEATRICE PINO
 FRESNO, CALIFORNIA 93725
 (559) 244-1129

BUILDER:

ELECTRICAL:

MECHANICAL:

ENGINEER:

CONSULTANTS

SYMBOL	MATERIAL	DETAIL
①	BRAVA (OR EQUAL) SPANISH BARREL TILE (ASTM ---, UL --- CLASS 'A') OVER ---. INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. ALL FLASHING TO BE 26 GA. G.I. MATCH EXISTING SHINGLE COLOR	
②	②) COAT STUCCO PER U.S.C. REQUIREMENTS OVER APPROVED SELF-FLURRING PAPER BACKED LATH (PROVIDE ADDITIONAL LAYER GRADE 'D' PAPER WHERE SHEATHING OCCURS). INSTALL LATH WITH 16 GA. x 7/8" LONG STAPLES AT 6" O.C. ALL CONTACTS USE 1/4" LONG STAPLES WHERE SHEATHING OCCURS) PROVIDE APPROVED WEEP SCREED. ALL HORIZONTAL STUCCO SURFACES SHALL HAVE APPROVED HI-RIB LATH INSTALL OVER FRAMING MEMBERS AT 16" O.C. STUCCO TO BE SMOOTH TROWEL FINISH INTERGRAL COLOR WITH WATER RESISTANT POLYMER ADDITIVE OWER TO SELECT COLOR	
③	DECORATIVE WALL MOUNTED LIGHT FIXTURE TO BE SELECTED BY OWNER.	
④		

ENGINEER:

MECHANICAL:

ELECTRICAL:

BUILDER:

FINISH NOTES

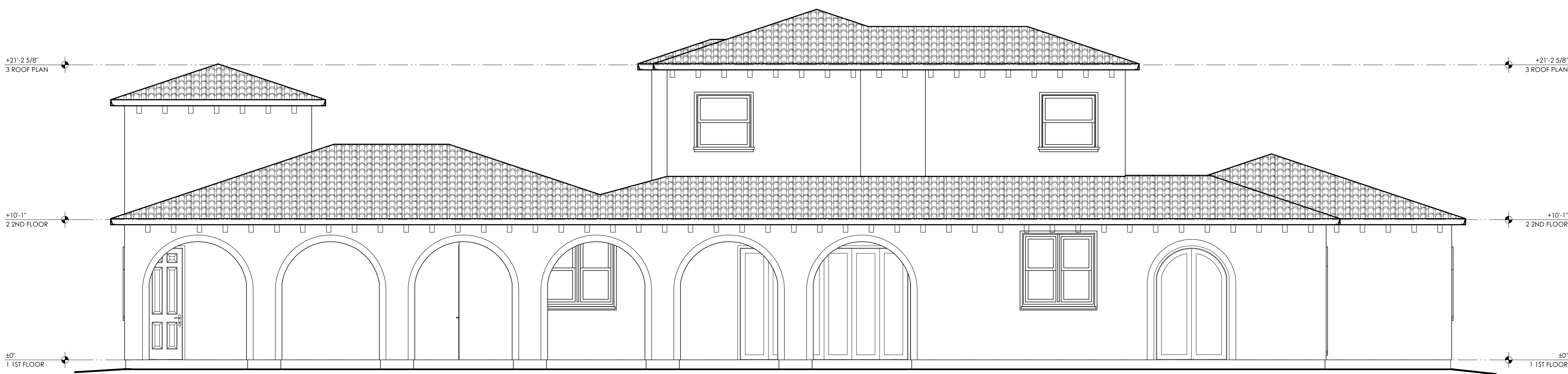
- ALL MATERIALS, FINISHES, TEXTURES, COLORS, ETC. SHALL BE CHOSEN BY THE OWNER.
- ALL MATERIALS AND PRODUCTS SHALL BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WHERE APPLICABLE SHALL CONFORM TO THE REQUIREMENTS OF THE GOVERNING CODES.
- ALL PAINTED SURFACES SHALL BE PROPERLY PREPARED PRIOR TO THE APPLICATION OF A BASE COAT PRIMER.
- GIVEN HEAD HEIGHTS ARE NOMINAL. CONTRACTOR SHALL DETERMINE ROUGH OPENINGS AND SHALL TAKE CARE TO ALIGN DOOR AND WINDOW HEADS.
- ROOF FLASHING SHALL MATCH ROOFING COLOR.

PROJECT:
PROPOSED NEW HOUSE FOR
MR. EMILIO H. PINO
MRS. BEATRICE PINO
FOUNDER, CALIFORNIA 93725
APN: S25-070-02

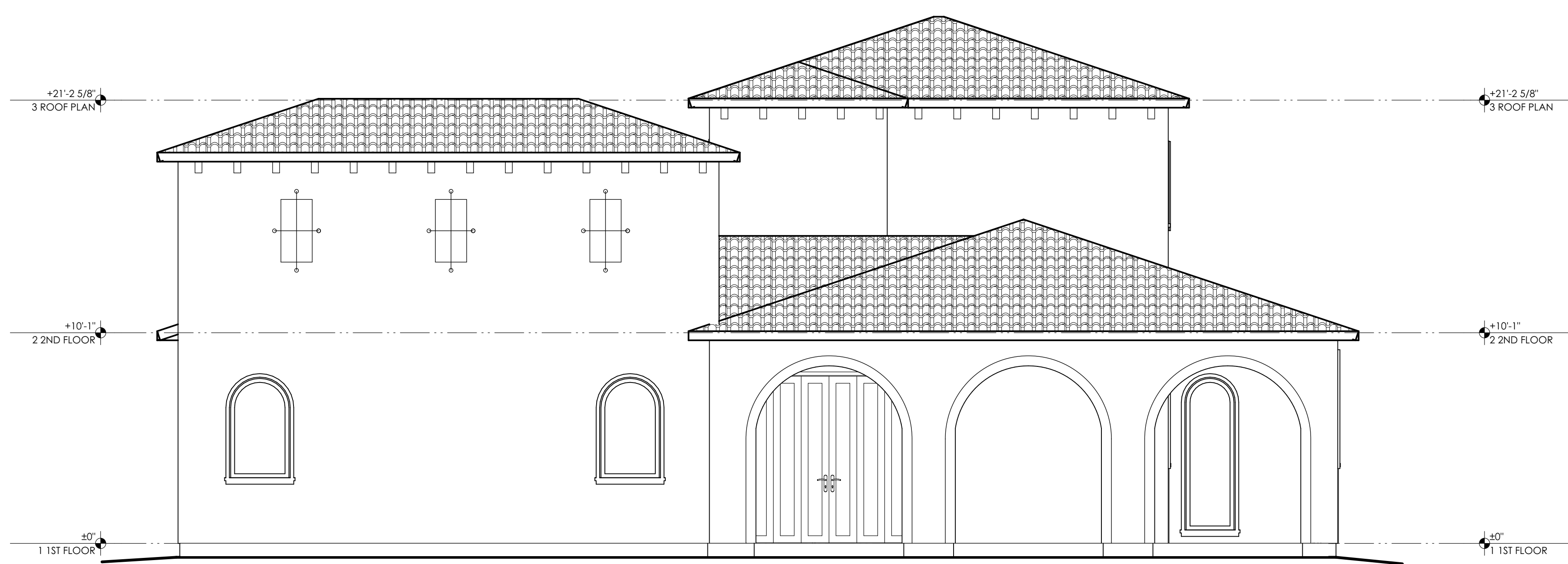
OWNER:
MR. EMILIO H. PINO
MRS. BEATRICE PINO
FRESNO, CALIFORNIA 93725
(559) 244-1129

MARK

MARK	DATE	DESCRIPTION



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

MARK	DATE	DESCRIPTION

PROJECT NO: RT23007
MODEL FILE: RT23007.PD
DRAWN BY: RICHARD A. TORRES
CHKD BY: RICHARD A. TORRES
DATE: 10/9/2024

RICHARD TORRES RESIDENTIAL DESIGNS
3038 RIALTO AVENUE
CLOVIS, CALIFORNIA 93619
(559) 709-3761 office
richard.designs@att.net

COUNTY OF FRESNO
PLAN CHECK NO. XX-XXXX

EXTERIOR ELEVATIONS

PROPOSED NEW HOUSE FOR
MR. EMILIO H. PINO
MRS. BEATRICE PINO
4637 S. EAST AVENUE
FRESNO, CALIFORNIA 93725
A.P.N. No. 329-070-32



NORTH ELEVATION



EAST ELEVATION LEFT



EAST ELVATION LEFT



WEST ELEVATION



SOUTH ELEVATION

IMAGES OF EXISTING RESIDENCE





