



# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

DATE: August 15, 2024

TO: Department of Public Works and Planning, Attn: Steven E. White, Director  
Department of Public Works and Planning, Attn: Bernard Jimenez,  
Planning and Resource Management Officer  
Development Services and Capital Projects, Attn: William M. Kettler,  
Deputy Director Planning  
Development Services and Capital Projects, Attn: Chris Motta, Division Manager  
Development Services and Capital Projects, Attn: Tawanda Mtunga,  
Principal Planner  
Development Services and Capital Projects, Attn: James Anders,  
Principal Planner  
Development Services and Capital Projects, Current Planning, Attn: David Randall,  
Senior Planner  
Development Services and Capital Projects, Policy Planning, Attn:  
Mohammad Khorsand, Senior Planner; Dominique Navarrette, Planner  
Development Services and Capital Projects, Zoning & Permit Review,  
Attn: Daniel Gutierrez, Senior Planner  
Development Services and Capital Projects, Development Engineering,  
Attn: Laurie Kennedy, Office Assistant III  
Water and Natural Resources Division, Attn: Augustine Ramirez, Division  
Manager; Roy Jimenez  
Water and Natural Resources Division, Transportation Planning, Attn:  
Hector Luna, Senior Planner/Brody Hines, Planner  
Road Maintenance and Operations Division, Attn: Wendy Nakagawa,  
Supervising Engineer  
Department of Public Health, Environmental Health Division, Attn: Deep  
Sidhu, Supervising Environmental Health Specialist; Kevin Tsuda,  
Environmental Health Specialist  
Central Valley Regional Water Quality Control Board; Attn:  
[centralvalleyfresno@waterboards.ca.gov](mailto:centralvalleyfresno@waterboards.ca.gov)  
California Department of Fish and Wildlife, Attn: [R4CEQA@wildlife.ca.gov](mailto:R4CEQA@wildlife.ca.gov)  
Santa Rosa Rancheria Tachi Yokut Tribe, Attn: Ruben Barrios, Tribal Chairman/  
Hector Franco, Director/Shana Powers, Cultural Director/Samantha McCarty  
Fresno County Fire District, Attn: [fkulprevention-planning@fire.ca.gov](mailto:fkulprevention-planning@fire.ca.gov)

FROM: Alexander Pretzer, Planner  
Development Services and Capital Projects Division

SUBJECT: Director Review and Approval No. 4778

APPLICANT: Carlos Santos

DUE DATE: **August 29, 2024**

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject application proposing to allow a second residence on a 1.77-acre parcel located within the AE-20 (Exclusive Agricultural) Zone District. Second residence not to exceed 2,000 square feet of living area. Owner of record to occupy one of the homes on-site.

The subject parcel is located on the north side of W. Parlier Ave. and East of S. Hayes Ave. approximately three quarter-miles northeast of the Unincorporated Community of Raisin City. (APN: 035-190-25S) (8431 S Hayes Ave, Fresno) (Sup Dist. 4).

Based upon this review, a determination will be made regarding conditions to be imposed on the project, including necessary on-site and off-site improvements.

We must have your comments by **August 29, 2024**. Any comments received after this date may not be used.

**If you do not have comments, please provide a “NO COMMENT” response to our office by the above deadline (e-mail is also acceptable; see email address below).**

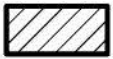
Please address any correspondence or questions related to environmental and/or policy/design issues to me, Alexander Pretzer, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or call (559) 600-4205, or email [apretzer@fresnocountyca.gov](mailto:apretzer@fresnocountyca.gov).

AP  
G:\4360Devs&PIn\PROJSEC\PROJDOCS\DRA\4700-4799\4778 (Alcazar)\Routing\DRA 4778 Routing Ltr.doc

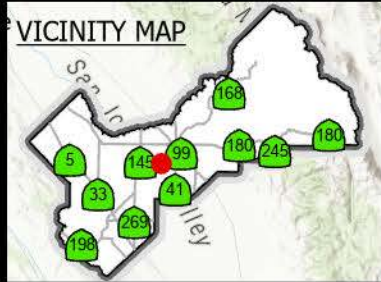
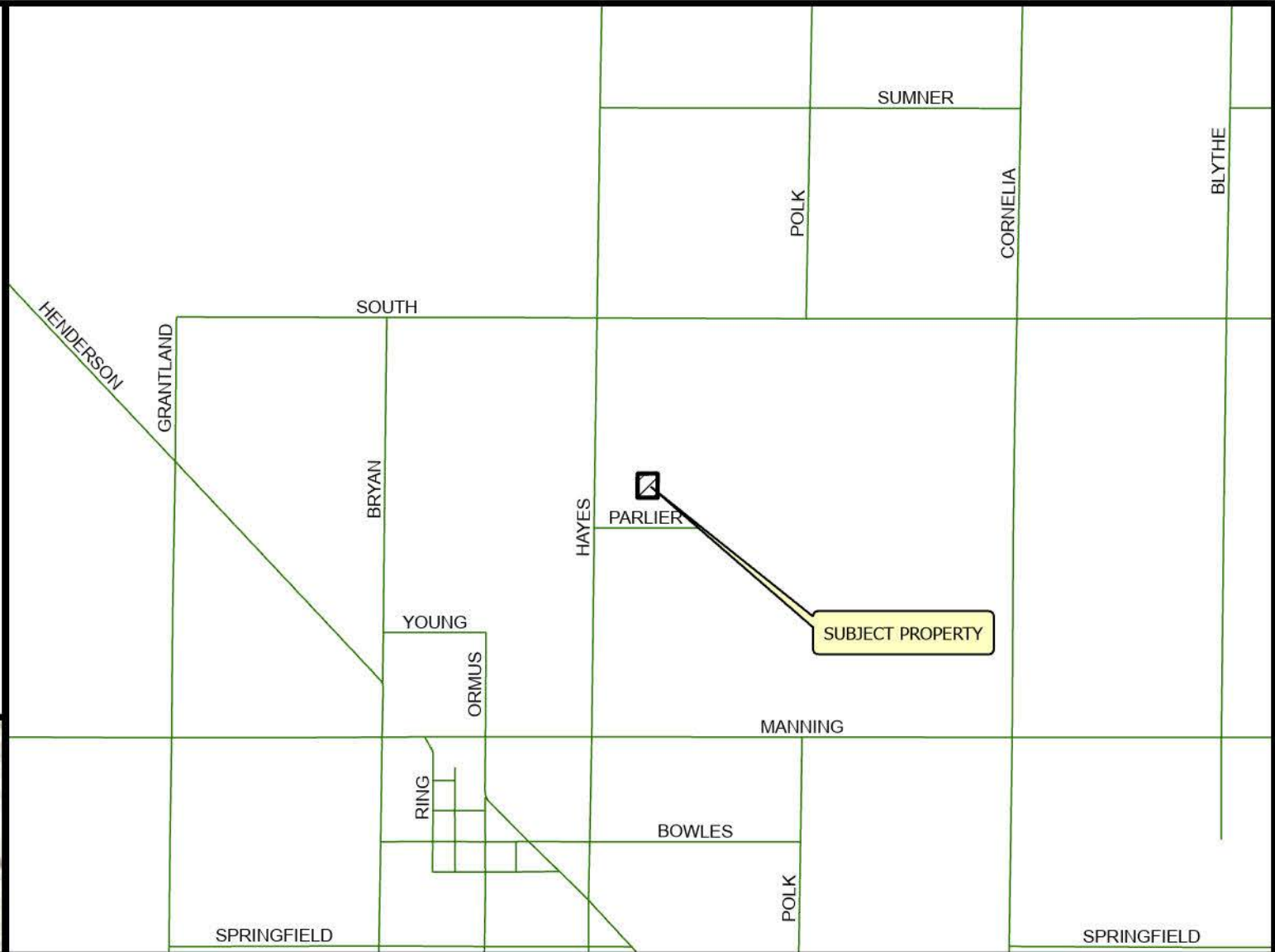
*Activity Code (Internal Review): 2392*

Enclosures

**Legend**



Subject Property

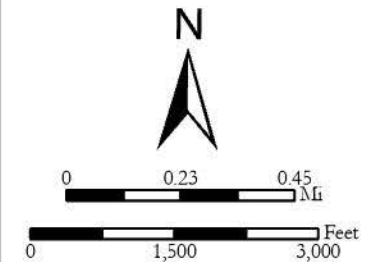


# LOCATION MAP

## DRA4778

## 2024

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division  
Person Prepared by : mdo  
On Date : 8/8/2024



**LEGEND:**

 Subject Property

**LEGEND**

ORC - ORCHARD

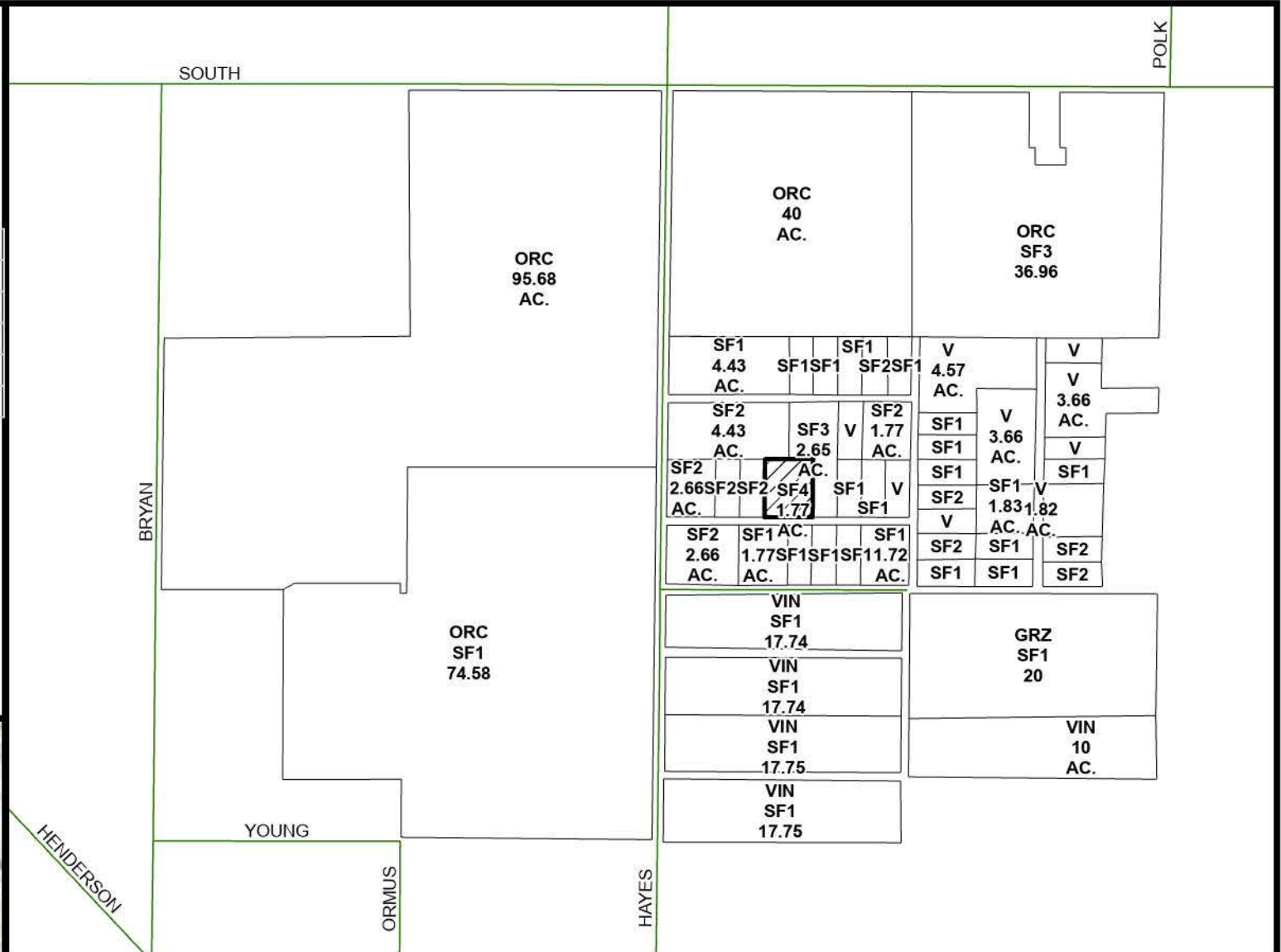
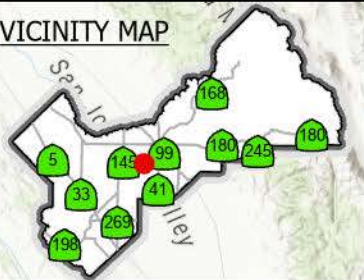
SF#- SINGLE FAMILY RESIDENCE

V - VACANT

GRZ - GRAZING

VIN - VINEYARD

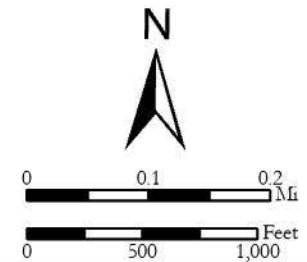
**VICINITY MAP**






**Existing Land Use Map**

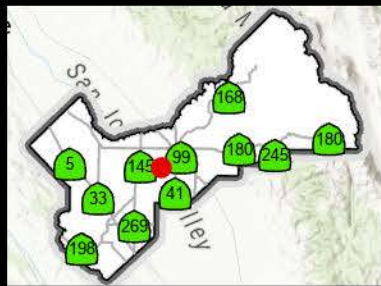
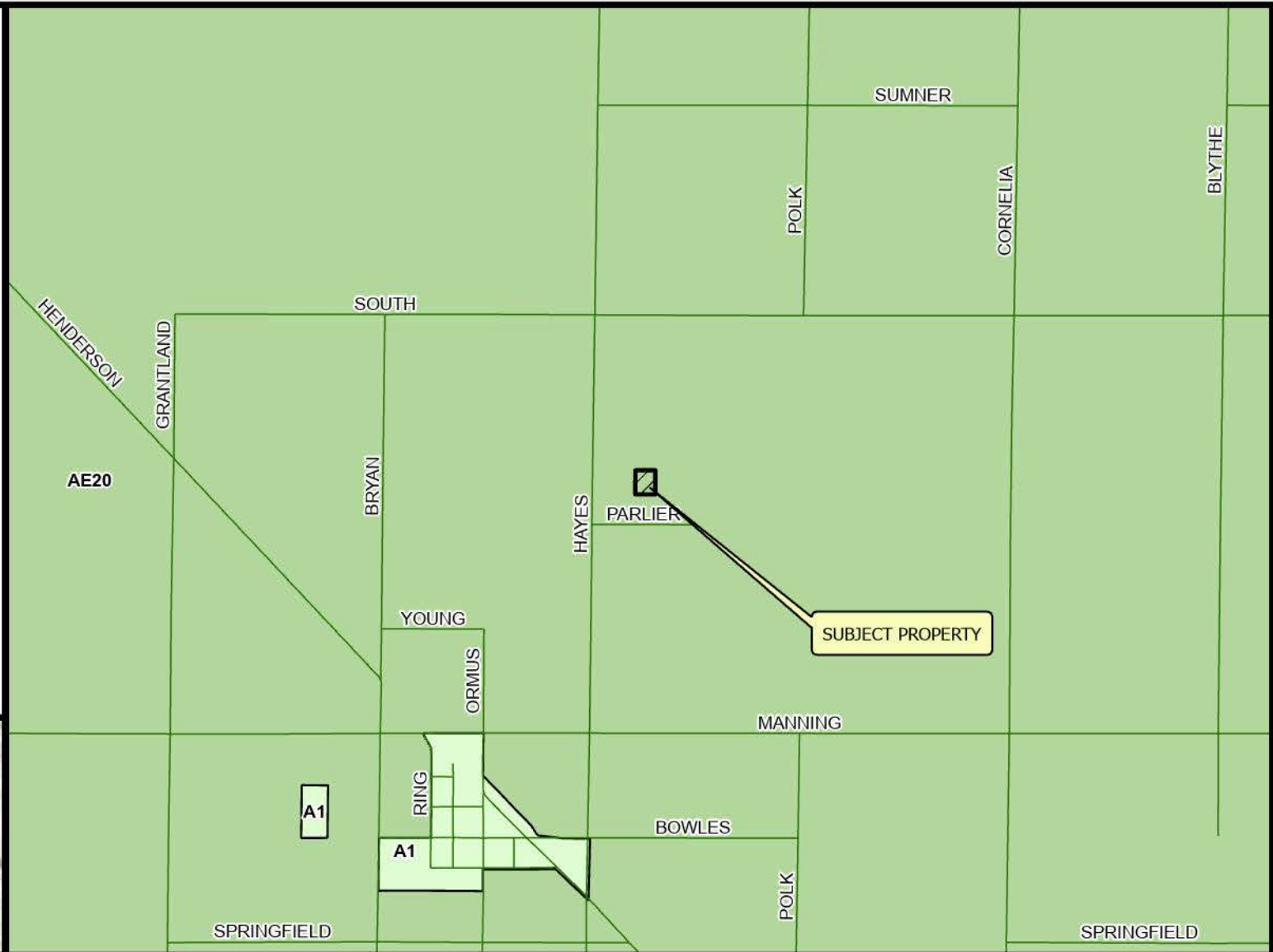
**DRA4778** | **2024**

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division  
 Person Prepared by : mdo  
 On Date : 8/8/2024



**Legend**

-  Subject Property
-  A1
-  AE20

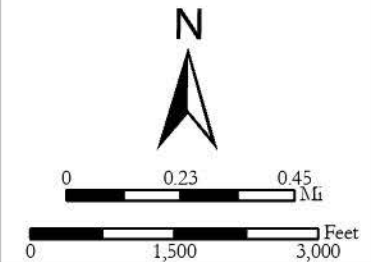


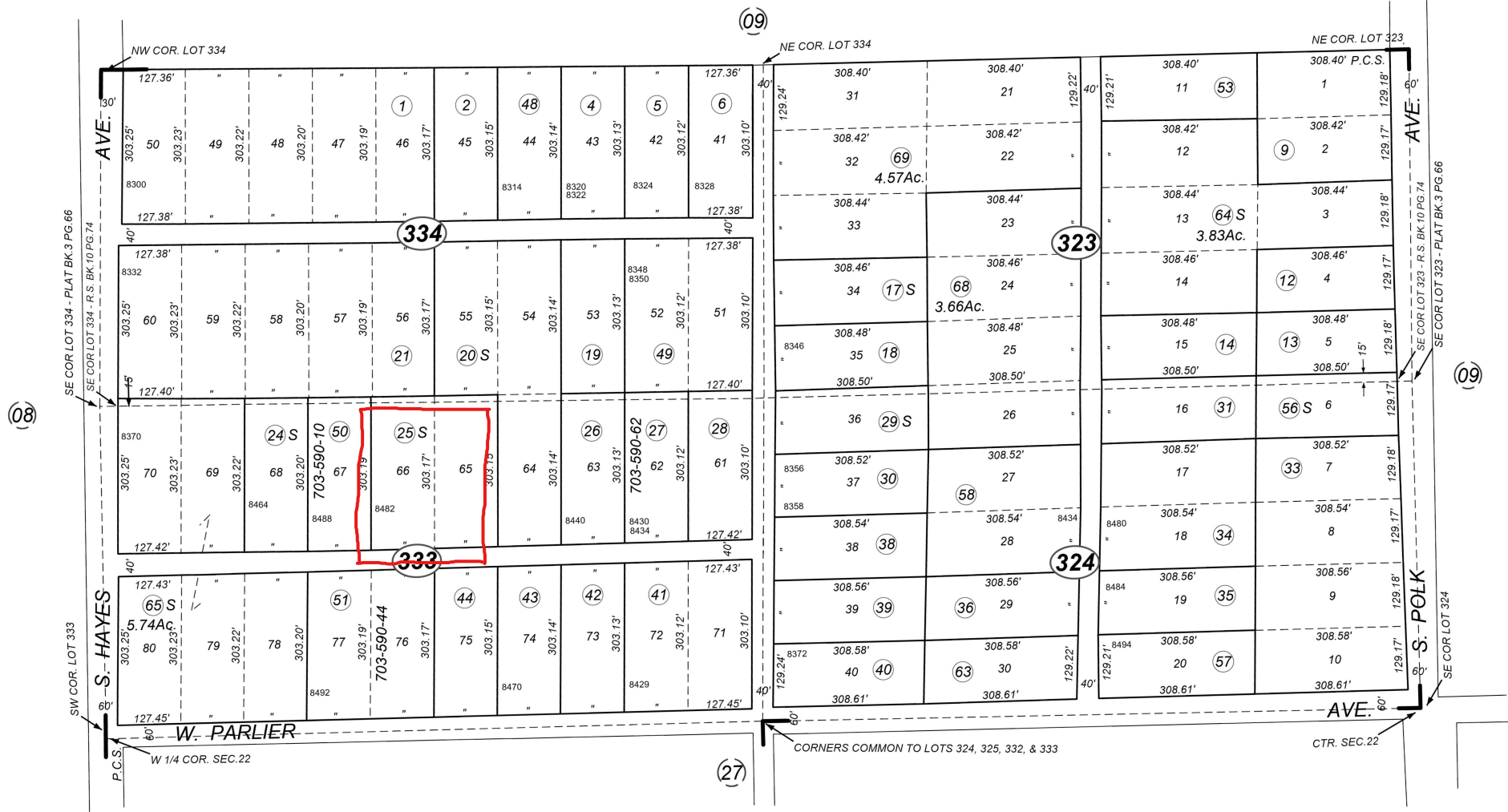
# Existing Zoning Map

DRA4778  
STR 13 - 15S / 20E

2024

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division  
Person Prepared by : mdo  
On Date : 8/8/2024







# Fresno County Department of Public Works and Planning

Date Received: **DRA 4778**  
(Application No.)

**MAILING ADDRESS:**  
Department of Public Works and Planning  
Development Services and Capital Projects Division  
2220 Tulare St., 6<sup>th</sup> Floor  
Fresno, Ca. 93721

**LOCATION:**  
Southwest corner of Tulare & "M" Streets, Suite A  
Street Level  
Fresno Phone: (559) 600-4497

**APPLICATION FOR:**

- Pre-Application (Type) DRA
- Amendment Application  Director Review and Approval
- Amendment to Text  for 2<sup>nd</sup> Residence
- Conditional Use Permit  Determination of Merger
- Variance (Class )/Minor Variance  Agreements
- Site Plan Review/Occupancy Permit  ALCC/RLCC
- No Shoot/Dog Leash Law Boundary  Other \_\_\_\_\_
- General Plan Amendment/Specific Plan/SP Amendment)
- Time Extension for \_\_\_\_\_

**DESCRIPTION OF PROPOSED USE OR REQUEST:**

*Second residence (DRA) for a mobile home*

**CEQA DOCUMENTATION:**  Initial Study  PER  N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. **Attach Copy of Deed, including Legal Description.**

LOCATION OF PROPERTY: north side of South  
between Lincoln Ave and Manning Ave  
Street address: 8452 S Hayes Fresno CA 93706

APN: 035-190-25 Parcel size: 1.77 acre Parcel Section(s)-Twp/Rg: S \_\_\_ - T \_\_\_ S/R \_\_\_ E

ADDITIONAL APN(s): \_\_\_\_\_

I, Carlos Perez Santos (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

Carlos Perez Santos 2361 S Poppy Ave Fresno CA 93706  
Owner (Print or Type) Address City Zip Phone

Flor Torres 1269 W American Ave Fresno CA 93706  
Applicant (Print or Type) Address City Zip Phone  
Flor Torres Representative (Print or Type) Address City Zip Phone

CONTACT EMAIL: \_\_\_\_\_

**OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)**

Application Type / No.:	<u>Drq Residential</u>	Fee: \$	<u>1,570.00</u>
Application Type / No.:	<u>Health Department</u>	Fee: \$	<u>432.00</u>
Application Type / No.:	<u>Ag Comm Review</u>	Fee: \$	<u>25</u>
PER/Initial Study No.:	<u>Pre-App credit</u>	Fee: \$	<u>-247.00</u>
Ag Department Review:		Fee: \$	
Health Department Review:		Fee: \$	
Received By: <u>[Signature]</u>	Invoice No.:	TOTAL: \$	<u>1750.00</u>

**UTILITIES AVAILABLE:**

WATER: Yes  / No   
Agency: \_\_\_\_\_  
SEWER: Yes  / No   
Agency: \_\_\_\_\_

**STAFF DETERMINATION:** This permit is sought under Ordinance Section: \_\_\_\_\_

Sect-Twp/Rg: \_\_\_\_\_ - T \_\_\_\_\_ S/R \_\_\_\_\_ E  
APN # \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_  
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APN # \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_  
APN # \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

Related Application(s): \_\_\_\_\_  
Zone District: \_\_\_\_\_  
Parcel Size: \_\_\_\_\_

over.....



Mail To: 1269 W. AMERICAN AVE.  
FRESNO, CA 93706

Development Services  
and  
Capital Projects  
Division

Email To: ALCAZAREXCAVATION@GMAIL.COM

Pre-Application Review

Department of Public Works and Planning

NUMBER: 24-003626  
APPLICANT: ALCAZAR EXCAVATION  
PHONE: (661) 816-8548

PROPERTY LOCATION: 8452 S. HAYES AVE. FRESNO, CA 93706  
APN(s): 03519025S ALCC: No  Yes  VIOLATION NO. NONE  
CNEL: No  Yes  (level) LOW WATER: No  Yes  WITHIN 1/2 MILE OF CITY: No  Yes:   
ZONE DISTRICT: AE-20 ; SRA: No  Yes  HOMESITE DECLARATION REQ'D.: No  Yes   
LOT STATUS:

Zoning: ( ) Conforms; (x) Legal Non-Conforming lot; ( ) Deed Review Req'd (see Form #236)  
Merger: May be subject to merger: No  Yes  ZM# \_\_\_\_\_ Initiated \_\_\_\_\_ In process \_\_\_\_\_  
Map Act: ( ) Lot of Rec. Map; (x) On '72 rolls; ( ) Other \_\_\_\_\_ ; ( ) Deeds Req'd (see Form #236)

SCHOOL FEES: No  Yes  DISTRICT: Caruthers PERMIT JACKET: No  Yes   
FMFCD FEE AREA: \_\_\_\_\_ ( ) Inside / (x) Outside District No.: \_\_\_\_\_ FLOOD PRONE: No  Yes   
PROPOSAL PRE-APPLICATION FOR A DIRECTOR'S REVIEW AND APPROVAL TO ALLOW A PERMANENT SECOND  
RESIDENCE NOT TO EXCEED 1,500 SQ FT FOR PARCELS OF LAND GREATER THAN 12,500 SQ FT IN AREA AND LESS  
THAN 2 ACRES OF LOT SIZE.

COMMENTS: NITROGEN LOADING ANALYSIS PASSED/APPROVED  
ORD. SECTION(S): 834.4.030.C.3 BY: \_\_\_\_\_ DATE: \_\_\_\_\_

GENERAL PLAN POLICIES: LAND USE DESIGNATION: Agricultural ( ) GPA: \_\_\_\_\_ ( ) MINOR VA: \_\_\_\_\_  
COMMUNITY PLAN: \_\_\_\_\_ ( ) AA: \_\_\_\_\_ (x) HD: \$432.00  
REGIONAL PLAN: \_\_\_\_\_ ( ) CUP: \_\_\_\_\_ (x) AG COMM: \$25.00  
SPECIFIC PLAN: \_\_\_\_\_ (x) DRA: \$1,570.00 ( ) ALCC: \_\_\_\_\_  
SPECIAL POLICIES: \_\_\_\_\_ ( ) VA: \_\_\_\_\_ ( ) IS/PER\*: \_\_\_\_\_  
SPHERE OF INFLUENCE: \_\_\_\_\_ ( ) AT: \_\_\_\_\_ ( ) Viol. (35%): \_\_\_\_\_  
ANNEX REFERRAL (LU-G17/MOU): \_\_\_\_\_ ( ) TT: \_\_\_\_\_ ( ) Other: \_\_\_\_\_  
COMMENTS: \_\_\_\_\_ ( ) PLA: \_\_\_\_\_ Filing Fee: \$ 2,027.00  
\_\_\_\_\_ ( ) TPM: \_\_\_\_\_ Pre-Application Fee: - \$247.00  
\_\_\_\_\_ ( ) TPMW: \_\_\_\_\_ Total County Filing Fee: \$1780.00

FILING REQUIREMENTS: (x) Land Use Applications and Fees ( ) Archaeological Inventory Fee: \$75 at time of filing  
(x) This Pre-Application Review form (Separate check to Southern San Joaquin Valley Info. Center)  
(x) Copy of Deed / Legal Description ( ) CA Dept. of Fish & Wildlife (CDFW): (\$50+\$2,916.75)  
(x) Photographs (Separate check to Fresno County Clerk for pass-thru to CDFW.  
( ) Letter Verifying Deed Review Must be paid prior to IS closure and prior to setting hearing date.)  
(x) IS Application and Fees\* \* Upon review of project materials, an Initial Study (IS) with fees may be required.  
(x) Site Plans - One (1) Copy (folded to 8.5"x11") \*PDF COPY PREFERRED  
(x) Floor Plan & Elevations - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction  
(x) Project Description / Operational Statement (Typed)  
( ) Statement of Variance Findings  
( ) Statement of Intended Use (ALCC)  
( ) Dependency Relationship Statement  
( ) Resolution/Letter of Release from City of \_\_\_\_\_  
(x) Nitrogen Loading Analysis or RWQCB supplemental treatment

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
PHONE NUMBER: (559) 600 - \_\_\_\_\_

NOTE: THE FOLLOWING REQUIREMENTS MAY ALSO APPLY:  
(x) COVENANT ( ) SITE PLAN REVIEW  
( ) MAP CERTIFICATE (x) BUILDING PLANS  
( ) PARCEL MAP (x) BUILDING PERMITS  
( ) FINAL MAP ( ) WASTE FACILITIES PERMIT  
( ) FMFCD FEES (x) SCHOOL FEES  
( ) ALUC or ALCC ( ) OTHER (see reverse side)

PLU # 113 Fee: \$247.00  
Note: This fee will apply to the application fee if the application is submitted within six (6) months of the date on this receipt.  
1.77 - acres  
Caruthers Trustee Area  
Fresno County Fire  
Raisin city water District  
Mullin AREA GSA  
Kings River Conservation  
4th sup Dist. OVER.....  
Santa Rose Rancheria



Recording Requested By:

5

SUSAN L. PASCUZZI, ESQ.



FRESNO County Recorder

Paul Dictos, C.P.A.

**DOC- 2017-0155284**

Check Number 10404

Friday, DEC 01, 2017 09:52:21

Ttl Pd \$31.00

Rcpt # 0004895139

ARG/R3/1-5

When Recorded Mail to:

**CARLOS PEREZ SANTOS  
C/O PASCUZZI, PASCUZZI & STOKER  
2377 W. SHAW, STE. 101  
FRESNO, CA 93711**

**APN: 035-190-25s**

Commonly known as: 8452 South Hayes Ave., Fresno

SPACE ABOVE THIS LINE FOR RECORDER'S USE

**JUDGMENT QUIETING TITLE TO REAL PROPERTY**

PASCUZZI, PASCUZZI & STOKER  
2377 West Shaw Avenue, Suite 101  
Fresno, California 93711

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STEVEN R. STOKER #154947  
SUSAN L. PASCUZZI #192164  
PASCUZZI, PASCUZZI & STOKER  
A Professional Corporation  
2377 West Shaw Avenue, Suite 201  
Fresno, California 93711  
Telephone: (559) 227-1100  
Facsimile: (559) 227-1290  
E-mail: spascuzzi@pascuzzi.net

Attorneys for CARLOS PEREZ SANTOS

**FILED**  
OCT 17 2017

FRESNO COUNTY SUPERIOR COURT  
By \_\_\_\_\_ DEPT. 403

9/6/2017 4:21 PM RECEIVED VIA E-FILED  
FRESNO COUNTY SUPERIOR COURT  
By: S. Garcia, Deputy

IN THE SUPERIOR COURT OF CALIFORNIA  
COUNTY OF FRESNO

\*\*\*\*\*

CARLOS PEREZ SANTOS,  
  
Plaintiff,

Case No. 14CECG00672

vs.

**JUDGMENT QUIETING TITLE TO  
REAL PROPERTY**

RAMONA LOPEZ, an individual;  
FRANCISCO LOPEZ, an individual;  
ARTHUR MERROW, an individual; JULIE  
BETH GUSTAVSON, an individual; CAL  
STATE GROWTH FUND, a California  
corporation; LUCIO CORTEZ, an  
individual; ARTHUR MERROW as personal  
representative of Tressie Merrow, deceased;  
ARTHUR E. MERROW, Trustee of the  
Merrow Family Trust Dated February 6,  
2003; All Persons Unknown, Claiming Any  
Legal or Equitable Right, Title, Estate, Lien,  
or Interest in the Property Described in the  
Complaint Adverse to Plaintiff's Title, or  
Any Cloud on Plaintiff's Title Thereto; and  
DOES 1 through 30, inclusive,

Complaint filed: March 6, 2014

Default Prove Up Hearing  
Date: October 17, 2017  
Time: 3:30 p.m.  
Dept.: 403  
Judge: The Honorable  
Kristi Culver-Kapetan

Defendants.

This cause came on regularly for default prove-up on October 17, 2017, in  
Department 403 of the above-entitled court. the Honorable Kristi Culver-Kapetan presiding.  
Plaintiff with counsel, Susan L. Pascuzzi. Oral and documentary evidence was presented by  
Plaintiff.

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PASCUZZI, PASCUZZI & STOKER  
2377 West Shaw Avenue, Suite 101  
Fresno, California 93711

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NOW, THEREFORE, IT IS ADJUDGED, ORDERED, AND DECREED

that:

1. As of October 23, 2000, Plaintiff purchased the real property described herein from ARTHUR MERROR and TRESSIE MERROW has since that date been the legal owner of the following described real property located in the County of Fresno, State of California:

BEGINNING AT A POINT ON A LINE WHICH IS PARALLEL TO AND 15 FEET DISTANT NORTHERLY FROM THE NORTH LINE OF LOT 333 OF PERRIN COLONY, ACCORDING TO THE MAP THEREOF RECORDED IN BOOK 3, PAGE 66 OF MAPS, FRESNO COUNTY RECORDS, WHICH POINT IS 529.60 FEET WESTERLY FROM THE EAST LINE OF SAID LOT 334 OF SAID PERRIN COLONY, AND RUNNING THENCE SOUTHERLY A DISTANCE OF 323.15 FEET TO A POINT WHICH IS 529.68 FEET WEST OF THE EAST LINE OF SAID LOT 333, THENCE WESTERLY A DISTANCE OF 254.85 FEET TO A POINT WHICH IS 308.19 FEET SOUTH OF THE NORTH LINE OF SAID LOT 333, THENCE NORTHERLY A DISTANCE OF 323.19 FEET TO A POINT ON THE LINE PARALLEL TO AND 15 FEET NORTHERLY FROM THE NORTH LINE OF SAID LOT 333 WHICH IS 254.80 FEET WESTERLY FROM THE POINT OF BEGINNING, THENCE EASTERLY 254.80 FEET TO THE POINT OF BEGINNING

SAID PROPERTY IS ALSO SHOWN AS ARBITRARY LOTS 65 AND 66 IN SECTION 22, TOWNSHIP 15, SOUTH RANGE 19 EAST, ACCORDING TO THE MAP OF SURVEY OF PERRIN COLONY RECORDED IN RECORD OF SURVEYS BOOK 10, PAGE 74. FRESNO COUNTY RECORDS.

EXCEPTING FROM ARBITRARY LOTS 64, 65 AND 66 ALL OIL, MINERAL, GAS AND HYDROCARBON SUBSTANCES AS RESERVED BY C. H. BYRD AND NOLA BYRD, HUSBAND AND WIFE, IN DEED RECORDED APRIL 17, 1977 IN BOOK 6772, PAGE 425, AS DOCUMENT NO. 34873, OFFICIAL RECORDS.

APN: 035-190-25s

commonly known as 8452 South Hayes Ave., Fresno, California, the "Property."

2. Defendants RAMONA LOPEZ, an individual; FRANCISCO LOPEZ, an individual; ARTHUR MERROW, an individual; JULIE BETH GUSTAVSON, an individual; CAL STATE GROWTH FUND, a California corporation; LUCIO CORTEZ, an

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PASCUZZI, PASCUZZI & STOKER  
2377 West Shaw Avenue, Suite 101  
Fresno, California 93711

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individual; ARTHUR MERROW as personal representative of Tressie Merrow, deceased;  
ARTHUR E. MERROW, Trustee of the Merrow Family Trust Dated February 6, 2003;  
RAMONA TINOCO and JOSE GABRIEL AGUIRRE own no right, title, estate, interest, or  
lien, whatsoever in the property.

DATED: 10/17/17

  
JUDGE OF THE SUPERIOR COURT

I

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The foregoing instrument is a correct copy of the original on file in this office.

ATTEST: NOV 29 2017

State of California, County of Fresno  
By \_\_\_\_\_ Superior Court Clerk  
DEPUTY



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# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING

STEVEN E. WHITE, DIRECTOR

March-20-2024

Carlos Perez Santos  
8452 S. Hayes  
Fresno, CA 93706

RE: Nitrogen Loading Analysis – 8452 S Hayes (1.77 Acres)

NITRATE LOADING ANALYSIS  
Fresno County Nitrogen Reduction

## AVERAGE CONCENTRATION OF NITRATE-NITROGEN

\*\*HANTZSCHE-FINNEMORE EQUATION\*\*

- 1.77 = Total Gross Lot Size (Acres)
- 4% = Impervious Surface (%)
- 1.70 = Total Surface Area (Acres)
- 350 = Daily Wastewater Flow (Gallons per Day) W Using 50gpcpd
- 365 = Duration of Wastewater Application (Days) t
- 2.72 = Calculated Volume of Wastewater Entering Soil (Inches per Year) l
- 50 = Total Nitrogen Concentration in Wastewater Entering System (mg/l) nw
- 0 = Percent of Nitrate-Nitrogen loss due to Soil Denitrification d
- 12.5 = Average Rainfall Recharge Rate (70% of Annual Rainfall) (Inches per Year) R
- 0.00 = Background Nitrate-Nitrogen Concentration in Rainfall Recharge (mg/l) nb
- 0 = Percent Nitrogen Removal From Treatment System Tr
- 9.1 = Calculated Average Concentration of Nitrate-Nitrogen (mg/l) nr

The calculated average concentration of total nitrogen in the groundwater is **9.1mg/l** which is below the Environmental Protection Agency (EPA) threshold of **10.0 mg/l** for drinking water.

This conclusion allows for the installation of a second septic system to serve a second residence, if approved by the DRA process.

Sincerely,

Arnold Valdivia  
Supervising Building Inspector

DNM

file:///G:/4360Devs&Pln\BLD\_SFTY\Septic%20Log\LAMP\Nitrogen%20Loading%20Analysis\2019%20Worksheet%20Information\1486%20S.%20Prospect.pdf.doc

**ENGINEERED TIEDOWN SYSTEM  
C.P. ANCHOR BRACE  
ETS-107G**

**FOR:** CENTRAL PIERS, INC.  
284 N. THORNE AVE.  
FRESNO, CA 93706  
559-268-0828

**BY:** ROCK SOLID ENGINEERING, INC.  
1100 MAIN STREET, SUITE A  
WATSONVILLE, CA 95076  
831-724-5868



Signed: 9-8-22

**STATE APPROVAL**

**ENGINEERED TIEDOWN SYSTEM  
APPROVED**

Approved does not authorize or approve any omission or deviation from requirements of applicable State laws and regulations

State of California  
Department of Housing and Community Development  
DIVISION OF CODES AND STANDARDS

By W.M. Wilson Date 9/22/22  
(Signature)

SPANO ETS 107G

This Plan Approval Expires 9/24/24

REV.	DATE	BY	COMMENTS
△			
△			
△			
△	09/18/20	YW	UPDATE TO 2019 CBC/CRC

**Rock SOLID ENGINEERING, INC.**

**ENGINEERED TIEDOWN SYSTEM  
CENTRAL PIERS - ETS-107G**

**SHEET  
F1 OF 7**

**GENERAL NOTES:**

REFERENCE: CALIFORNIA CODE OF REGULATIONS, TITLE 25 AND 2019 C.R.C./C.B.C. THESE PLANS MEET THE INTENT OF 2019 C.R.C. 301.1.3.

- 1. THE DESIGN WIND LOADS LISTED IN THE TABLE ARE PER 2019 CBC. MINIMUM WIND LOAD IS 15 PSF FOR ALL CATEGORIES.
- 2. THE DESIGN LOADS SHALL BE CONSISTENT WITH THE WIND ZONE AS ESTABLISHED FOR PERMANENT BUILDINGS BY THE LOCAL JURISDICTION. THIS PLAN IS NOT INTENDED FOR USE IN FLOOD ZONES.
- 3. FOOTINGS ARE TO BE SUPPORTED BY EITHER FIRM, UNSATURATED SOIL, COMPACTED FILL, ASPHALT OR CONCRETE. FOOTINGS ARE DESIGNED FOR 1500 PSF BEARING CAPACITY & SHALL BE COMPATIBLE WITH LOCAL SOIL CONDITIONS. THE C.P. ANCHOR BRACE SHALL NOT BE INSTALLED IN NON-COHESIVE SOIL (CLASS 4: SP, SW, GP, GW). ALL FOOTINGS SHALL BE FOUNDED IN ACCORDANCE WITH H.C.D GUIDELINES AND TITLE 25.
- 4. STRUCTURAL STEEL:
  - A. SHALL CONFORM TO ASTM A36  $F_y = 36$  KSI MINIMUM.
  - B. SHALL BE FABRICATED ACCORDING TO AISC SPECIFICATIONS.
  - C. SHALL BE WELDED ACCORDING TO AWS SPECIFICATIONS:
    - i. ELECTRODES: E70
    - ii. PLATES: ASTM A36
    - iii. BOLTS: SAE GR5=ASTM A449=ASTM A325
    - iv. THREADED ROD: COLD DRAWN LOW CARBON WELDABLE
  - D. ALL METAL COMPONENTS INCLUDING NAILS & SCREWS ETC. ARE TO BE PROTECTIVE COATED.
- 5. THE C.P. ANCHOR BRACE SHALL BE LISTED AND LABELED BY CERTIFIED TESTING AND CONSULTING SERVICES (CTC) FOR THE FOLLOWING LOADS:
  - a. LATERAL: 2767 LBS (Working Load)  
4151 LBS (Ultimate Load)
  - b. UPLIFT: 2133 LBS (Working Load)  
3200 LBS (Ultimate Load)
- 6. ALL STANDARD STEEL SUPPORT PIERS MUST BE POSITIVELY ATTACHED TO THE CHASSIS BEAM AND FOUNDATION PAD PER TITLE 25, SECTION 1334.1. STANDARD PIER SPACING PER MANUFACTURER'S INSTALLATION MANUAL BUT MAY BE NOT MORE THAN 5 FEET O.C. FOR DOUBLE AND TRIPLE WIDE HOMES WHEN MANUFACTURER'S INSTALLATION MANUAL NOT AVAILABLE, STANDARD PIERS TO BE DETERMINED BY TITLE 25, SECTION 1335.5.
- 7. THIS SYSTEM MAY BE USED WITH MASONRY BLOCK STANDARD SUPPORTS. THE BLOCKS SHOULD BE INSTALLED PER THE HOME INSTALLATION MANUAL. SPACING=5 FT O.C. MAX FOR DOUBLE AND TRIPLE WIDE HOMES.

- 8. THIS SUPPORT SYSTEM PLAN IS DESIGNED TO BE CONSTRUCTED ON A LEVEL SITE WITH NO EXISTING SOIL PROBLEMS (SECTION 1334, TITLE 25)
- 9. WHEN OBSTRUCTIONS ARE ENCOUNTERED, THE DIRECTION OF THE ANCHOR BRACE MAY BE REVERSED PROVIDED THAT THE OPPOSITE ANCHOR BRACE IS ALSO REVERSED. THIS CONFIGURATION MAY BE USED WITH PERIMETER CHASSIS BEAMS.

**HOME SIZE NOTES:**

- 1. NUMBER OF C.P. ANCHOR BRACES TO BE DETERMINED BY TABLE, SHEET F5.
- 2. UNLESS APPROVED BY ROCK SOLID ENGINEERING, INC., THE ROOF PITCH SHOULD NOT EXCEED:
  - 3:12 FOR SINGLE WIDE HOMES.
  - 4:12 FOR DOUBLE AND TRIPLE WIDE HOMES.
- 3. FOR ANY HOME SIZE OTHER THAN LISTED IN THE TABLE, THE ANCHOR AND PAD LAYOUT SHALL BE REVIEWED AND APPROVED BY ROCK SOLID ENGINEERING, INC.

**INSPECTION REQUIREMENTS:**

- 1. THE DESIGN OF THIS SYSTEM IS BASED ON STANDARD MANUFACTURED HOMES AS BUILT BY THE MANUFACTURER. SITE BUILT ADDITIONS SUCH AS GARAGES AND SECONDARY ROOFS HAVE NOT BEEN INCLUDED IN THIS DESIGN.
- 2. ALL DIMENSIONS INCLUDED ON THIS PLAN, INCLUDING HOME SIZE, ROOF HEIGHT AND PIER HEIGHT, SHOULD BE FIELD VERIFIED BY THE LOCAL BUILDING OFFICIAL. ANY DISCREPANCIES SHOULD BE IMMEDIATELY BROUGHT TO THE ENGINEER'S ATTENTION.
- 3. THE BUILDING PAD SHOULD BE INSPECTED TO ENSURE THAT PAD PREPARATION AND PROPER DRAINAGE PATTERNS HAVE BEEN ESTABLISHED IN ACCORDANCE WITH TITLE 25 & MANUFACTURER.



HCD  
EXP 9/24/24

Signed: 9-8-22

**Rock SOLID ENGINEERING, INC.**

**ENGINEERED TIEDOWN SYSTEM**  
**CENTRAL PIERS - ETS-107G**

09/18/20

SHEET F2  
OF 7



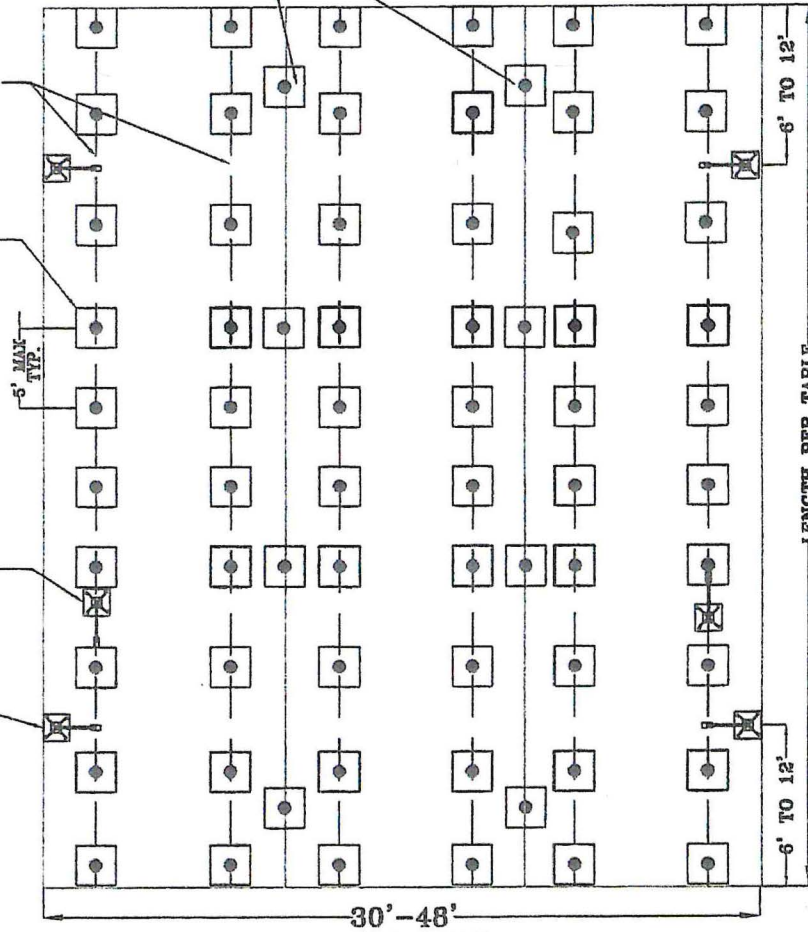
RIDGE/MARRIAGE LINE PIERS SHOWN AS  
EXAMPLE ONLY. MUST BE INSTALLED  
EXACTLY AS SPECIFIED BY HOME  
INSTALLATION MANUAL AND/OR SUPPLEMENT

EXISTING  
CHASSIS BEAMS

C.P. STANDARD 6000 LB PIER  
(OR APPROVED EQUAL)  
INSTALLATION (SPACING,  
FOOTING SIZE, ETC.) MUST  
BE AS SPECIFIED IN HOME  
INSTALLATION MANAUL.

WHEN REQUIRED, INSTALL  
LONGITUDINAL BRACES PER  
DETAIL 3 SHEET F7  
AT EXISTING SPRING HANGER  
OR WITH LONGITUDINAL TOP.  
SEE TABLE SHEET F5  
FOR # LONG. REQUIRED

TRANSVERSE (TRANS.)  
C.P. ANCHOR BRACE  
PER DETAILS 1 & 2, SHEET F6  
NO. PER TABLE SHEET F5



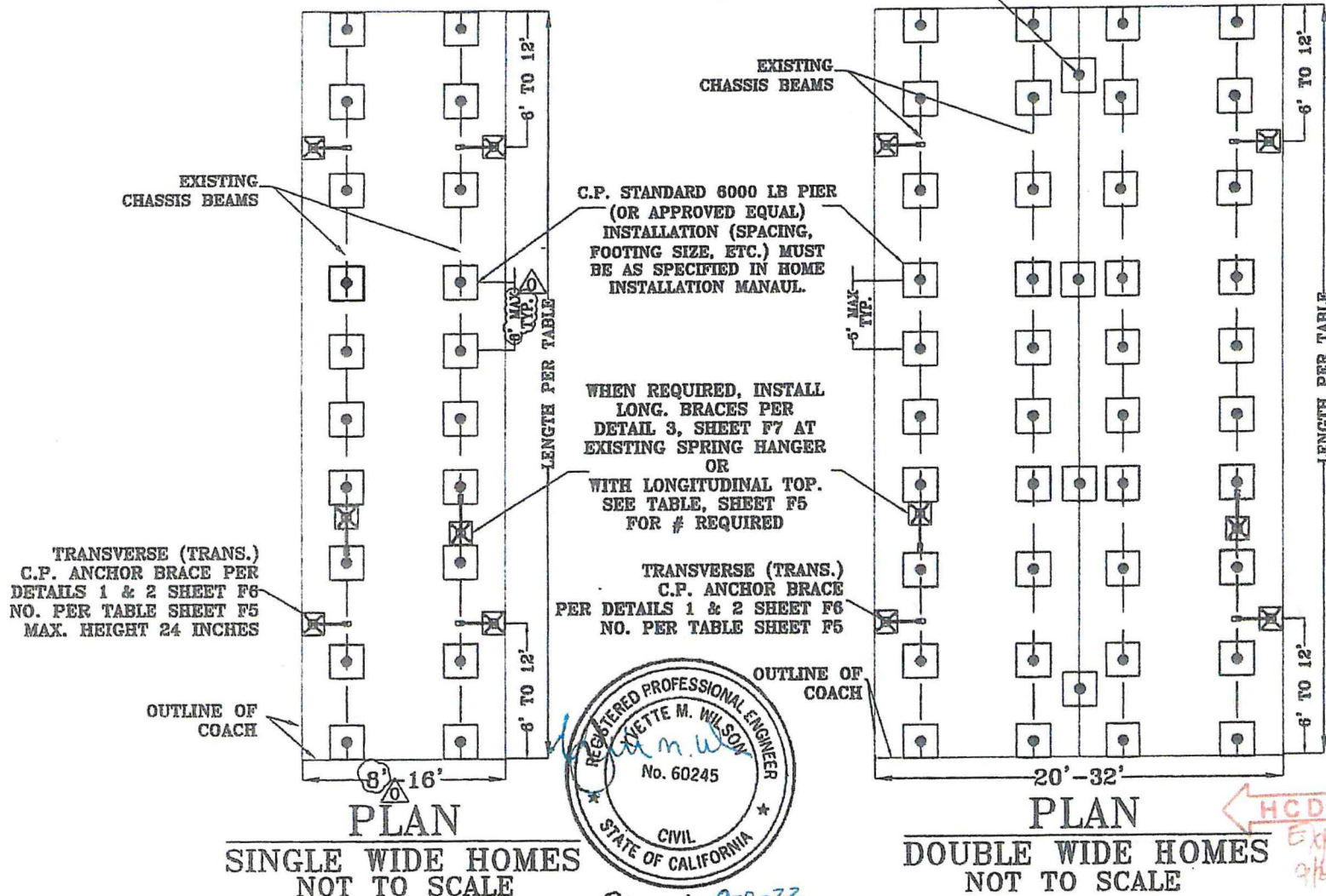
**PLAN**  
**TRIPLE WIDE HOMES**  
NOT TO SCALE

HCD  
Exp 9/12/24



Signed: 9-8-22

RIDGE/MARRIAGE LINE PIERS SHOWN AS  
EXAMPLE ONLY. MUST BE INSTALLED EXACTLY  
AS SPECIFIED BY HOME INSTALLATION  
MANUAL AND/OR SUPPLEMENT



**ROCK SOLID ENGINEERING, INC.**

**ENGINEERED TIEDOWN SYSTEM**  
CENTRAL PIERS - ETS-107G

09/18/20  
SHEET F4  
OF 7

HOME SIZE		WIND LOAD(MPH,EXP)										
		100B or 15PSF		100C		120B		120C		130C		
WIDTH	LENGTH	# TRANS ANCHOR BRACES	# LONG. ANCHOR BRACES	# TRANS ANCHOR BRACES	# LONG. ANCHOR BRACES	# TRANS ANCHOR BRACES	# LONG. ANCHOR BRACES	# TRANS ANCHOR BRACES	# LONG. ANCHOR BRACES	# TRANS ANCHOR BRACES	# LONG. ANCHOR BRACES	
DOUBLE WIDES	20'-21'	30'-54'	4	0	4	0	4	2	4	2	6	2
		54.5'-78'	4	0	6	0	6	2	6	2	8	2
21.5'-25'		30'-48'	4	0	4	0	4	2	4	2	6	2
		48.5'-66'	4	0	4	0	4	2	6	2	6	2
25.5'-32'		66.5'-78'	6	0	6	0	6	2	6	2	8	2
		38'-58'	4	0	4	0	4	2	6	2	6	2
		58.5'-66'	4	0	6	0	6	2	6	2	8	2
TRIPLE WIDES		68.5'-78'	6	0	6	0	6	2	6	2	8	2
		36'-53'	4	0	4	0	4	2	6	2	8	2
		53.5'-70'	4	0	4	0	4	2	6	2	10	2
36.5'-48'		70.5'-78'	6	0	6	0	6	2	8	2	10	2
		46'-60'	4	0	4	0	4	2	6	2	10	2
		61.5'-70'	4	0	4	0	6	2	8	2	12	2
		70.5'-78'	6	0	6	0	6	2	8	2	12	2

FIND HOME WIDTH & LENGTH THEN WIND ZONE. READ # OF TRANS. ANCHOR BRACES & # OF LONG. ANCHOR BRACES REQUIRED. SEE PLAN VIEW SHEETS F3 AND F4 FOR PLACEMENT OF ANCHORS. HOME WIDTHS LISTED ABOVE ARE NOMINAL WIDTHS. IF EXACT SIZE IS NOT SHOWN CHECK NEXT HIGHER & NEXT LOWER AND USE THE ONE THAT REQUIRES MORE ANCHOR BRACES. IF THE HOME LENGTH IS LESS THAN THE SMALLEST VALUE LISTED, ADD 2 LONG. ANCHOR BRACES.

△ BOTH TABLES REVISED TO IN ACCORDANCE WITH 2019 CBC CALCULATIONS

# TRANS ANCHOR BRACES = TOTAL NUMBER OF TRANSVERSE C.P. ANCHOR BRACES REQUIRED. SEE PLAN VIEW SHEETS F3 & F4

# LONG. ANCHOR BRACES = TOTAL NUMBER OF LONGITUDINAL C.P. ANCHOR BRACES REQUIRED. SEE PLAN VIEW SHEETS F3 & F4

HOME SIZE		WIND LOAD(MPH,EXP)								
		100C or 15 psf		120B		120C		130C		
WIDTH	LENGTH	# TRANS ANCHOR BRACES	# LONG. ANCHOR BRACES	# TRANS ANCHOR BRACES	# LONG. ANCHOR BRACES	# TRANS ANCHOR BRACES	# LONG. ANCHOR BRACES	# TRANS ANCHOR BRACES	# LONG. ANCHOR BRACES	
SINGLE WIDES	8-16'	30'-66'	4	2	4	2	6	2	6	2
		66.5'-78'	6	2	6	2	8	2	8	2

HOME WIDTHS LISTED ABOVE ARE NOMINAL WIDTHS. IF EXACT SIZE IS NOT LISTED, CHECK NEXT LOWER AND NEXT HIGHER AND USE THE ONE THAT REQUIRES MORE ANCHOR BRACES. IF HOME LENGTH IS LESS THAN THE SMALLEST LISTED, ADD 2 LONGITUDINAL ANCHOR BRACES.



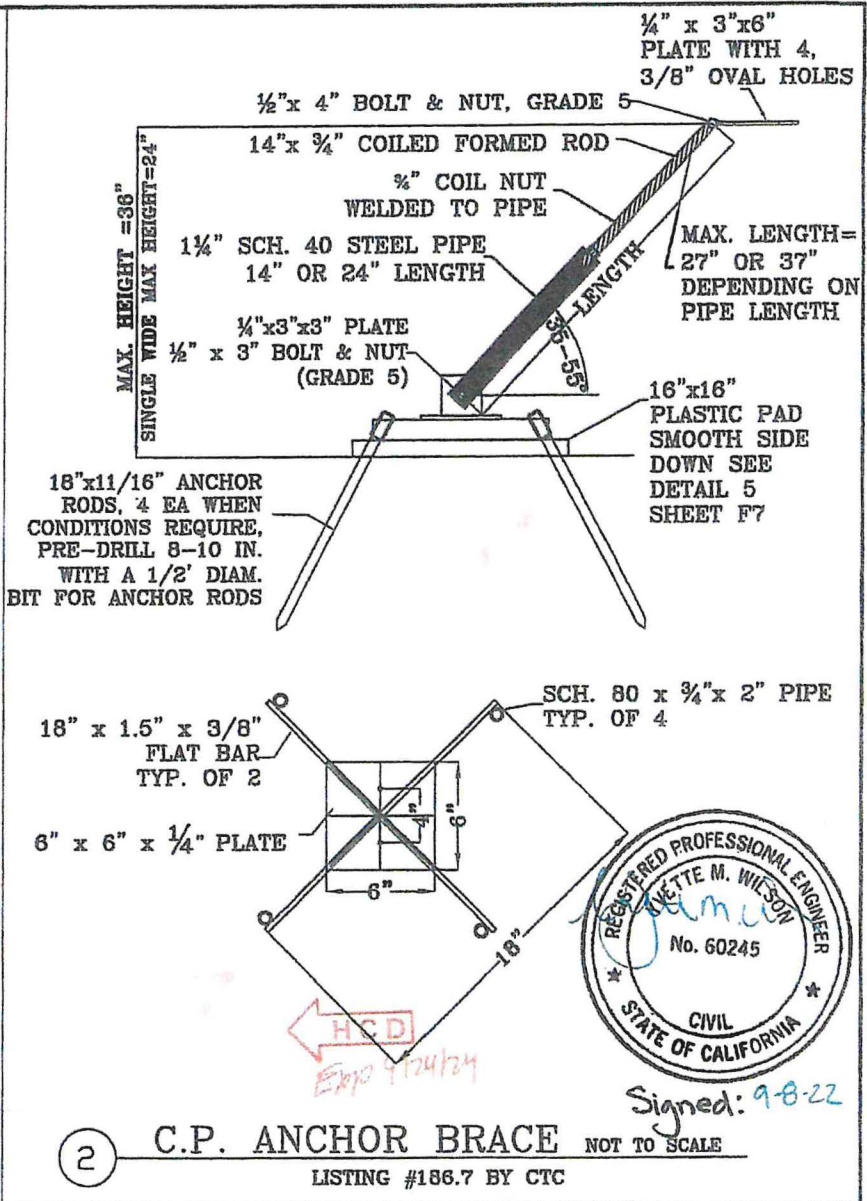
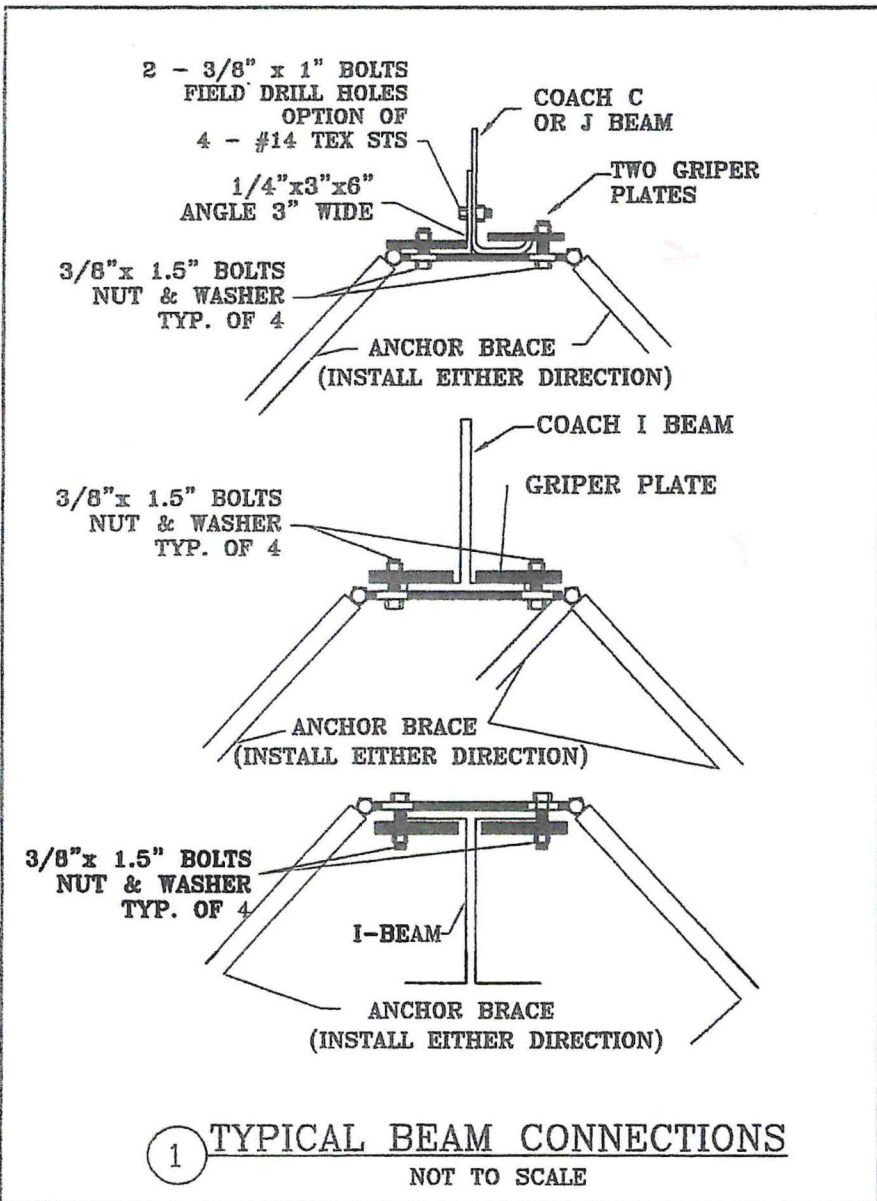
Signed: 9-8-22

HCD  
Exp 9/24/24

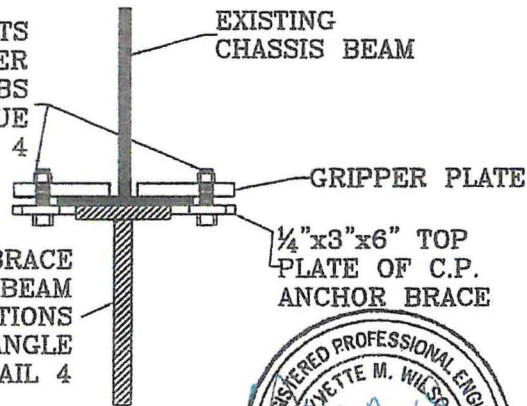
ROCK SOLID ENGINEERING, INC.

ENGINEERED TIEDOWN SYSTEM  
CENTRAL PIERS - ETS-107G

△09/18/20  
SHEET F5  
OF 7



3/8"x 1.5" BOLTS  
NUT & WASHER  
TIGHTEN TO 20 FT-LBS  
MINIMUM TORQUE  
TYP. OF 4

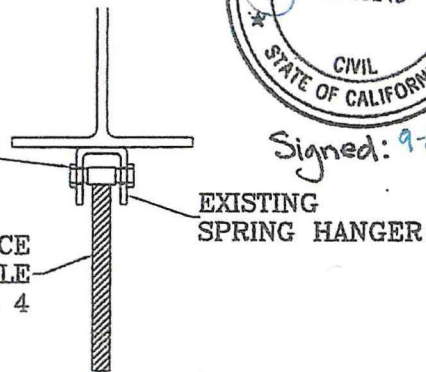


C.P. ANCHOR BRACE  
INSTALL AT CHASSIS BEAM  
IN ALTERNATING DIRECTIONS  
INSTALL AT 35-55° ANGLE  
PER DETAIL 4



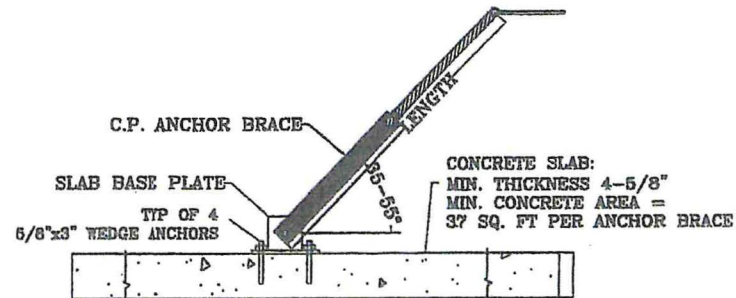
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1/2" x 2-1/2" BOLT  
WITH WASHER & NUT  
A325



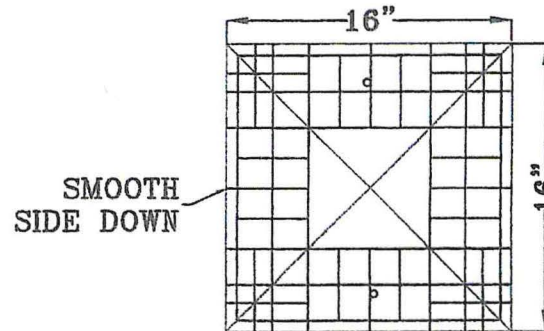
C.P. ANCHOR BRACE  
INSTALL AT 35-55° ANGLE  
PER DETAIL 4

3 BEAM CONNECTION: LONGITUDINAL  
NOT TO SCALE



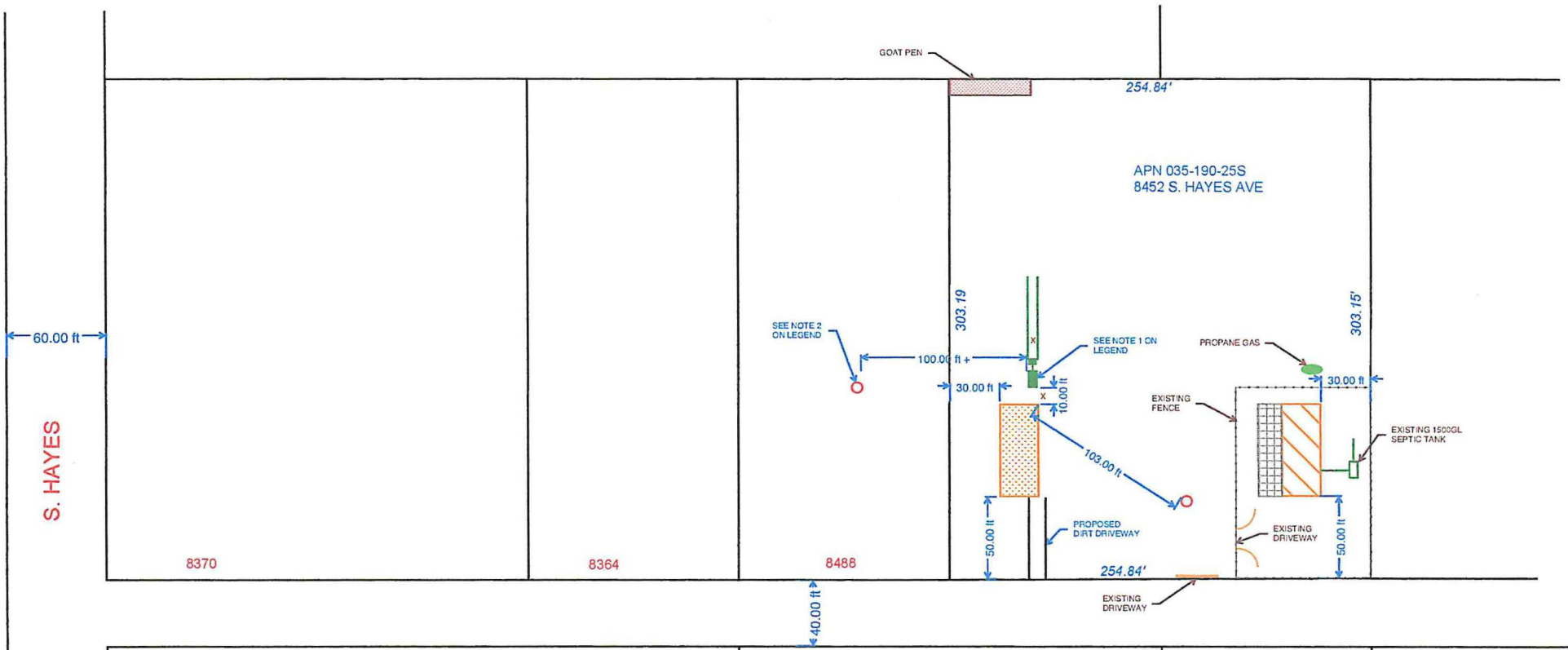
MIN. EDGE DISTANCE = 3-1/8" (FROM BOLT TO EDGE OF CONC.)  
RED HEAD WEDGE ANCHOR, OR APPROVED EQUIVALENT  
MINIMUM CONCRETE COMPRESSIVE STRENGTH=2,000 PSI  
FREDRILL HOLES WITH BITS COMPLYING WITH ANSI B212.15-1994.  
BIT DIAMETER=ANCHOR DIAMETER.  
INSTALLATION TORQUE = 90 FT-LBS

4 OPTIONAL CONCRETE SLAB  
ATTACHMENT NOT TO SCALE



HCD  
Exp 9/24/24

5 PLASTIC FOUNDATION PAD  
NOT TO SCALE



8370

8364

8488

PROJECT SITE:  
 ZONING: AE20  
 APN:035-190-25S  
 8452 S. HAYES AVENUE

SQUARE FOOTAGE  
 BREAKDOWN

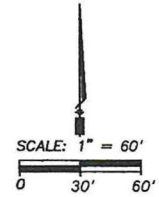
PROPOSED MOBILE HOME 1,344SF  
 EXISTING MOBILE HOME 1,344SF  
 TOTAL 2,312SF

LEGEND:

-  PROPOSED 2BED/2BATH MOBILE HOME 24' X 56'
-  EXISTING 3BED/2BATH MOBILE HOME 1,344 SF
-  EXISTING CONCRETE AREA
-  WATER WELL
-  TEST HOLE LOCATION

- NOTES:
1. PROPOSED SEPTIC 1500 GL 10'6" L x 69" W & LEACH FIELD 2-50' LEACH LINES 6' APART
  2. 100-FOOT MINIMUM SEPARATION BETWEEN LEACH LINES AND EXISTING WELL WITHIN PROPERTY AND ADJACENT PROPERTIES WITH WELLS.

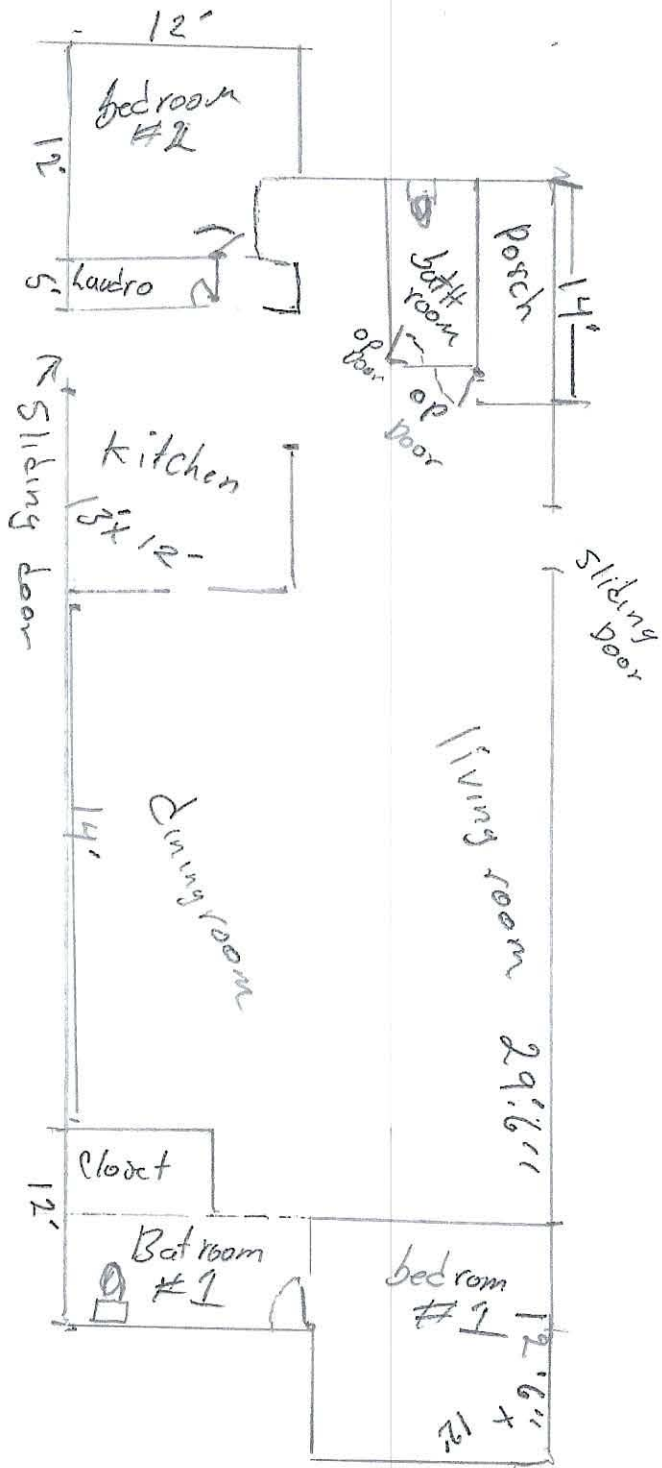
SEE NOTE 2 ON LEGEND



8452 S Hayes Fresno CA  
Existing mobile home



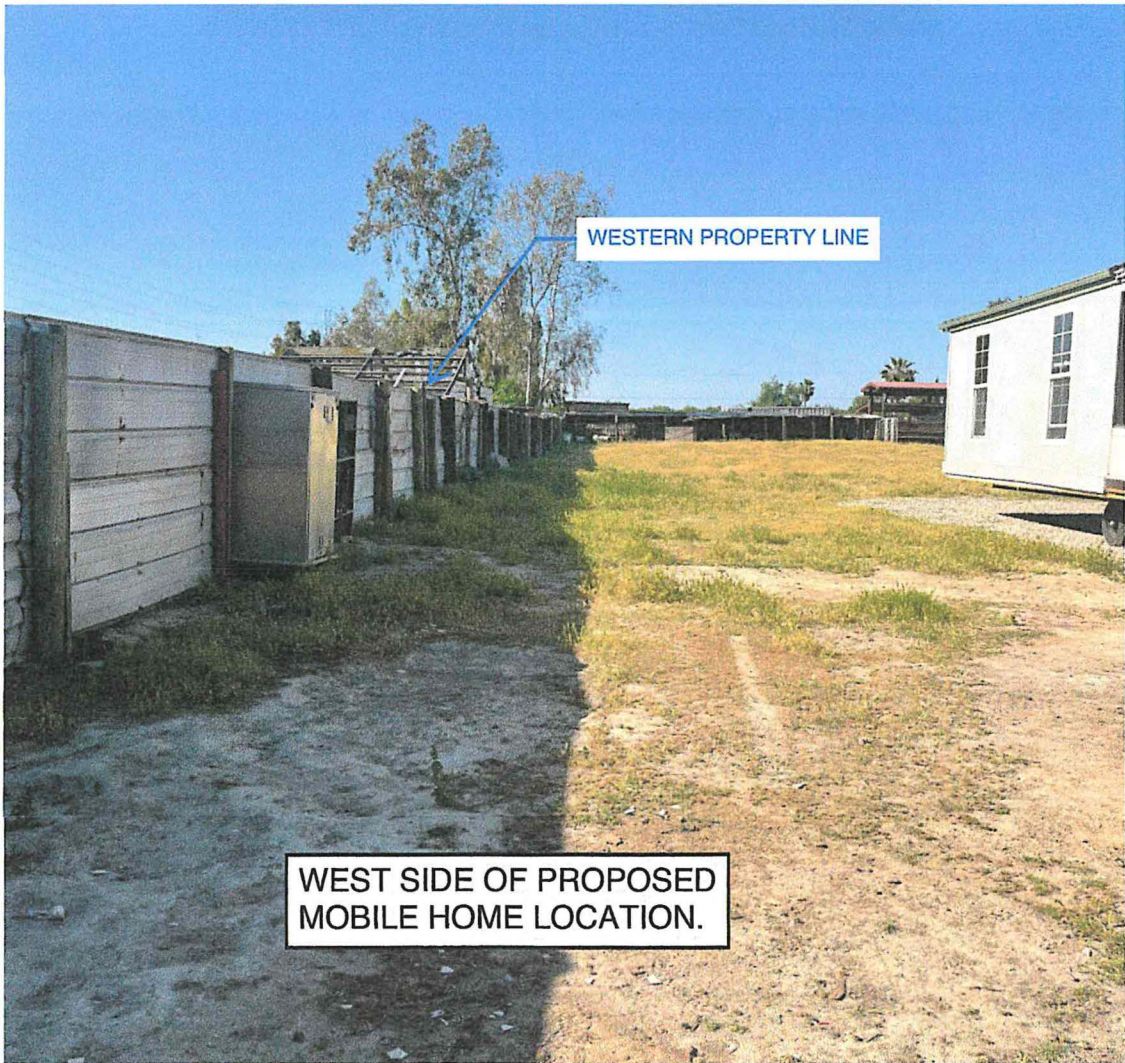
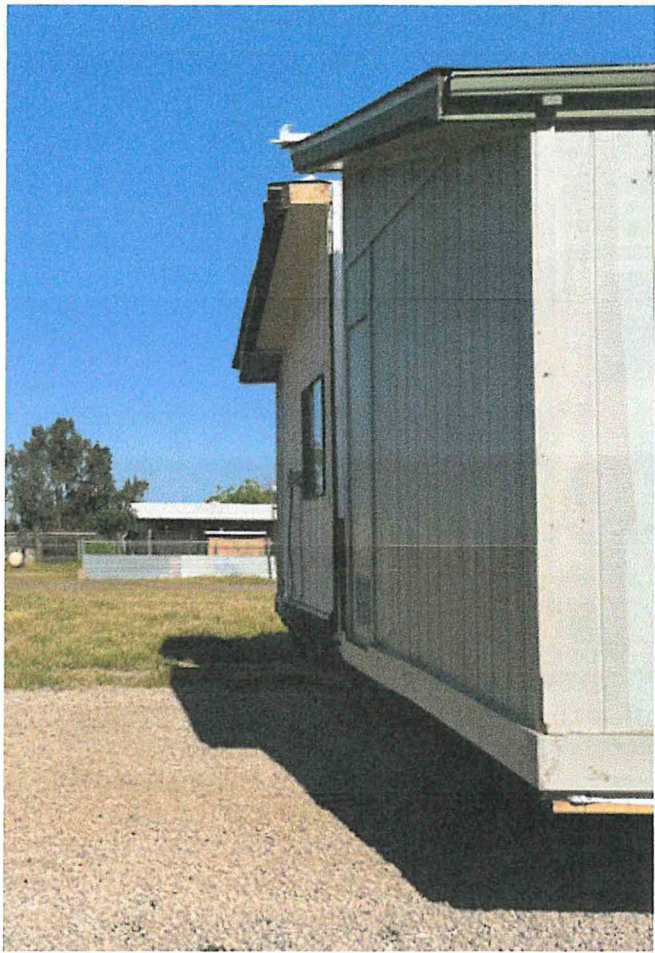
24' x 56'



8452  
 S Hayes  
 Proposed  
 56' x 24'  
 mobile home

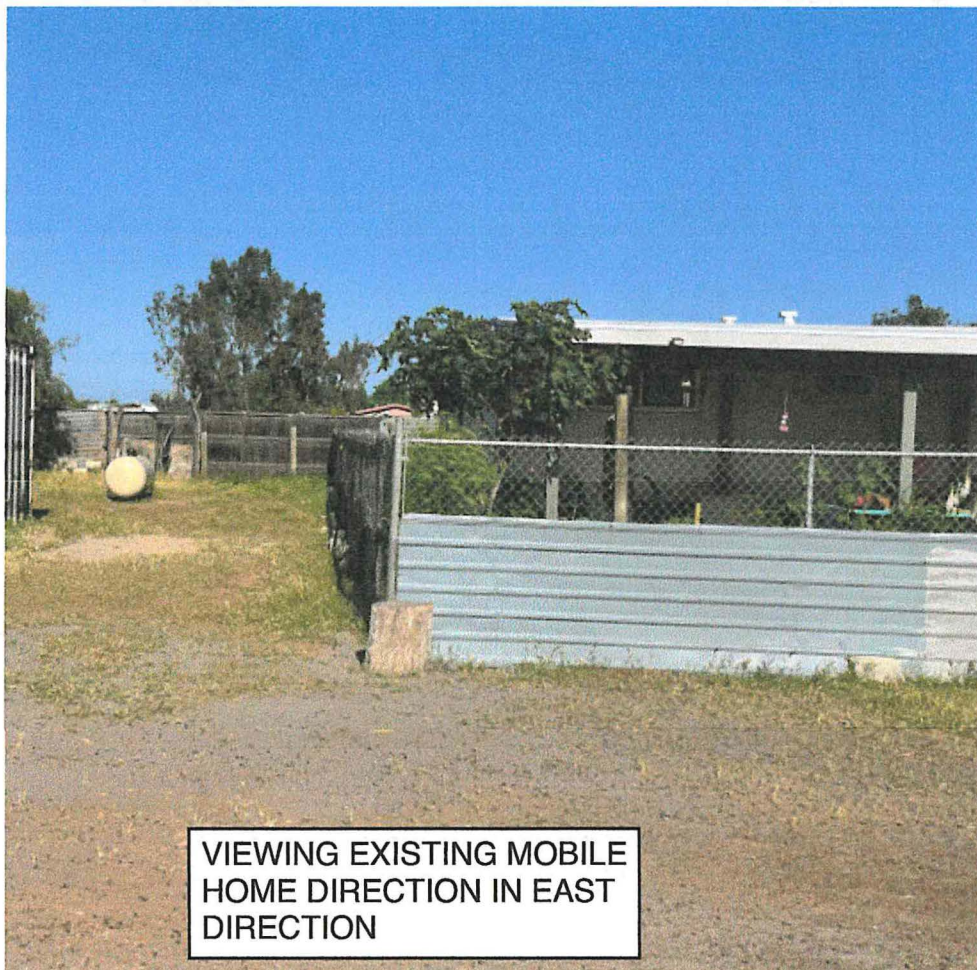


NORTHERN END OF PROPOSED MOBILE HOME IN THE EAST DIRECTION.



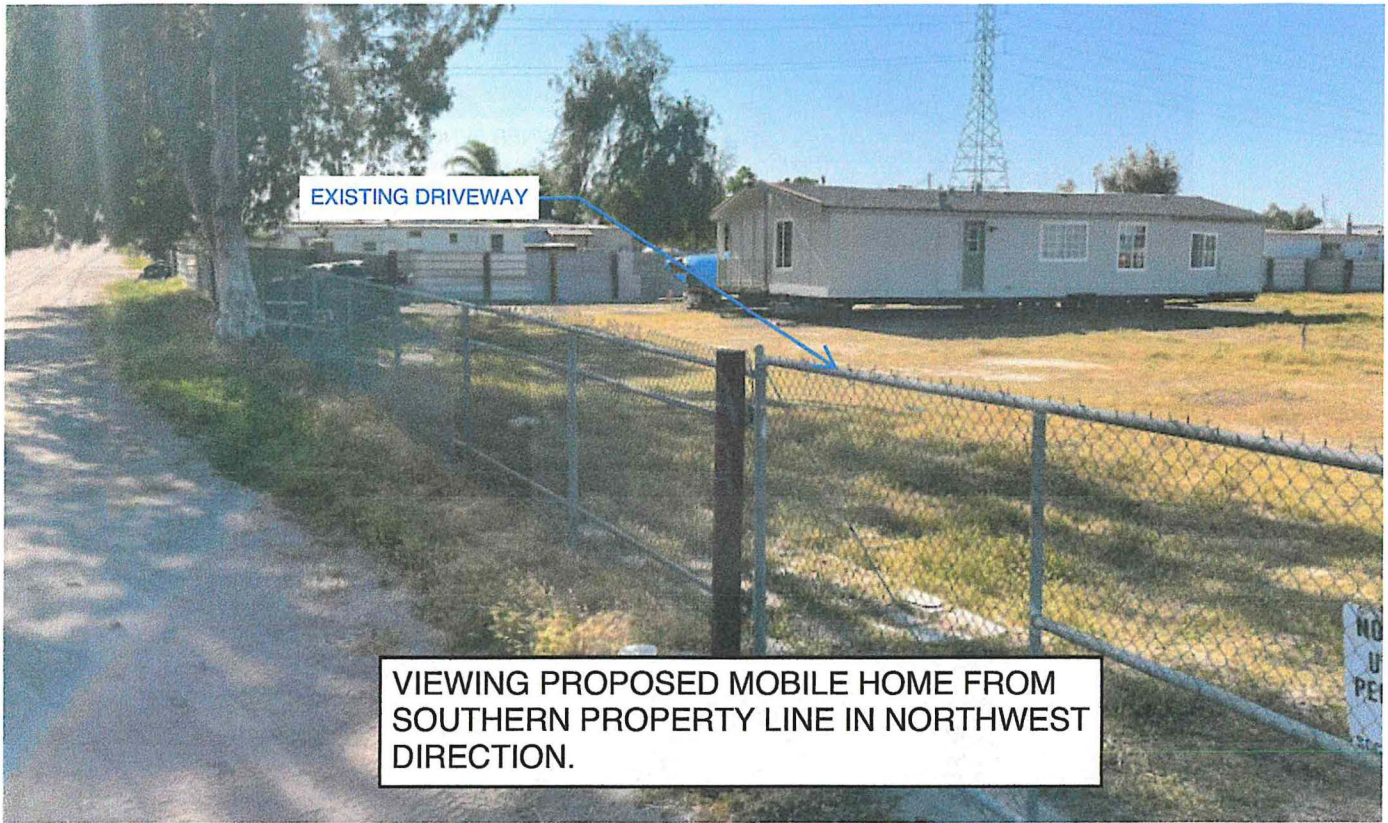
WESTERN PROPERTY LINE

WEST SIDE OF PROPOSED MOBILE HOME LOCATION.

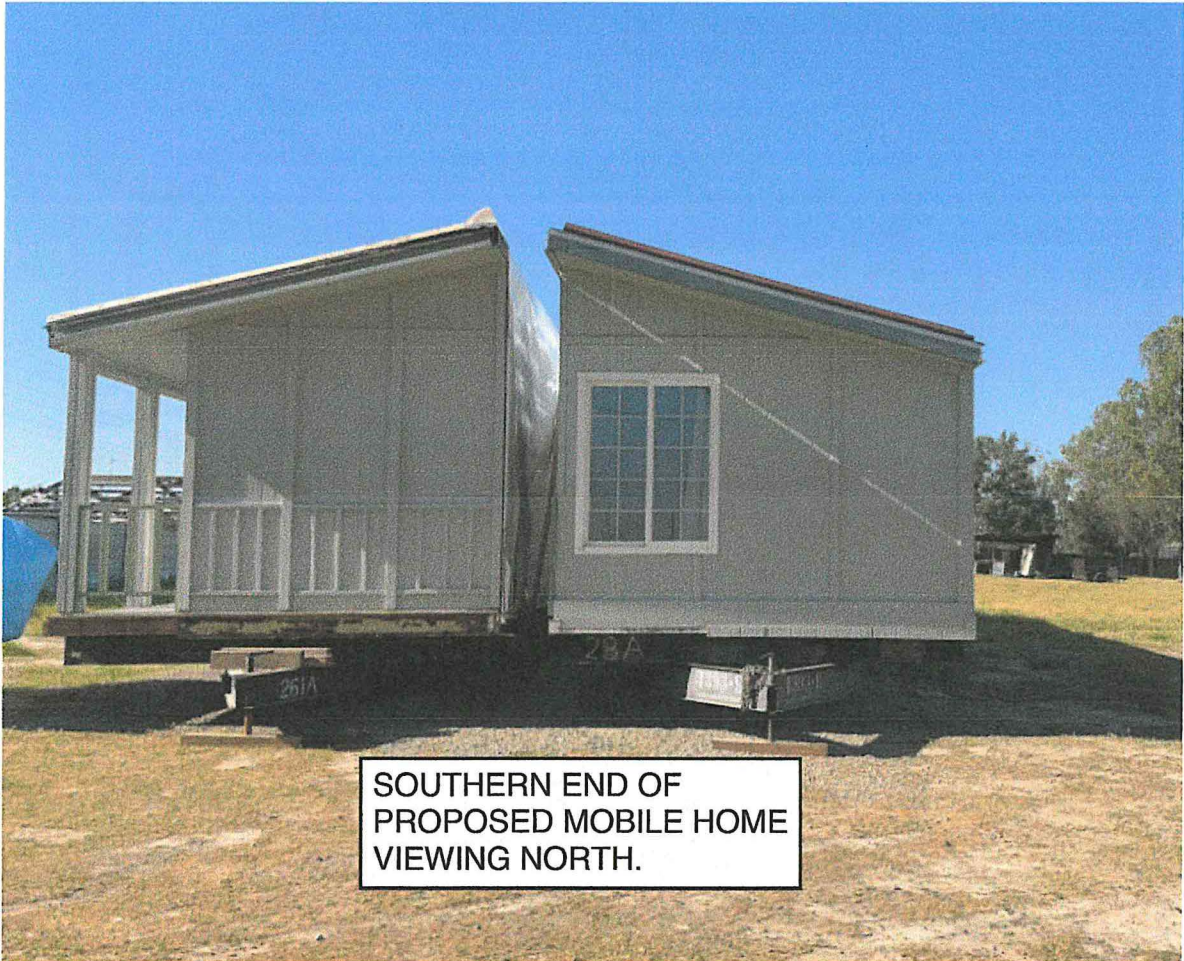
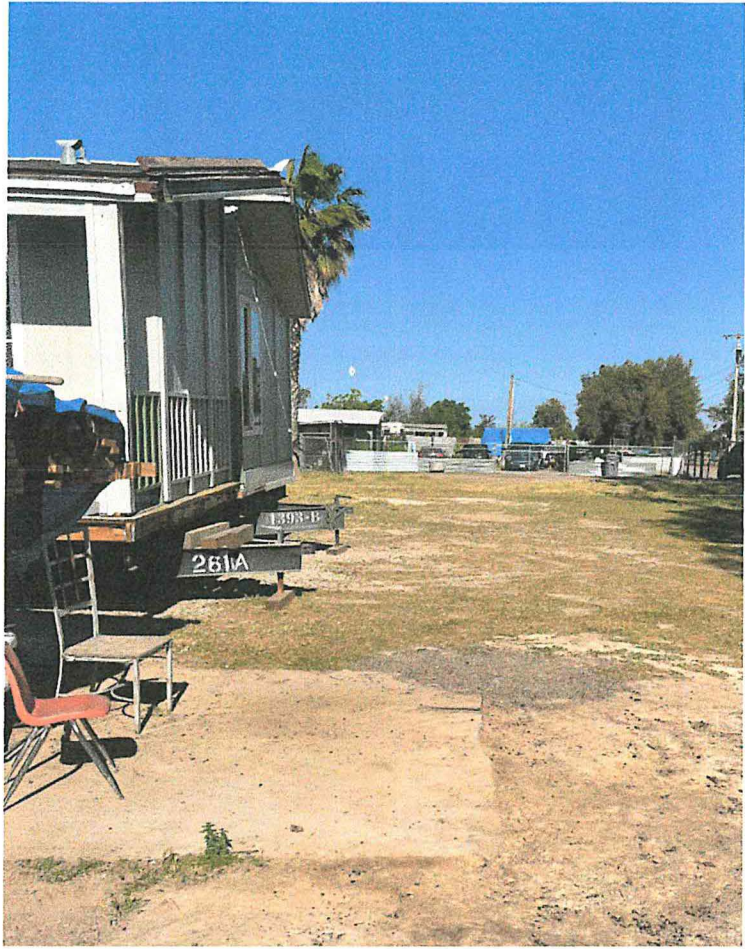




NORTHEAST VIEW OF SITE FROM THE  
SOUTHWEST CORNER OF PROPERTY.

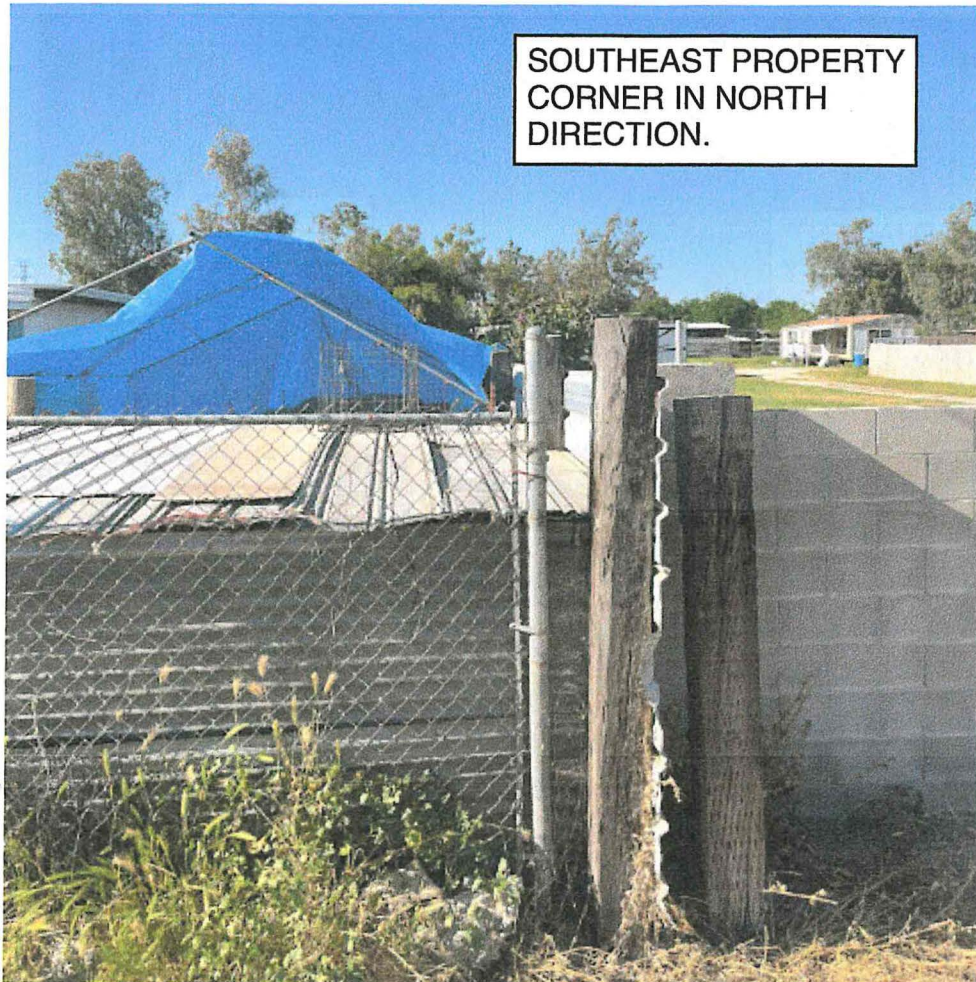


SOUTHERN END OF PROPOSED MOBILE HOME IN THE EAST DIRECTION.



SOUTHERN END OF PROPOSED MOBILE HOME VIEWING NORTH.

SOUTHEAST PROPERTY  
CORNER IN NORTH  
DIRECTION.



SOUTHEAST PROPERTY  
CORNER VIEWING WEST  
ALONG SOUTHERN  
PROPERTY LINE

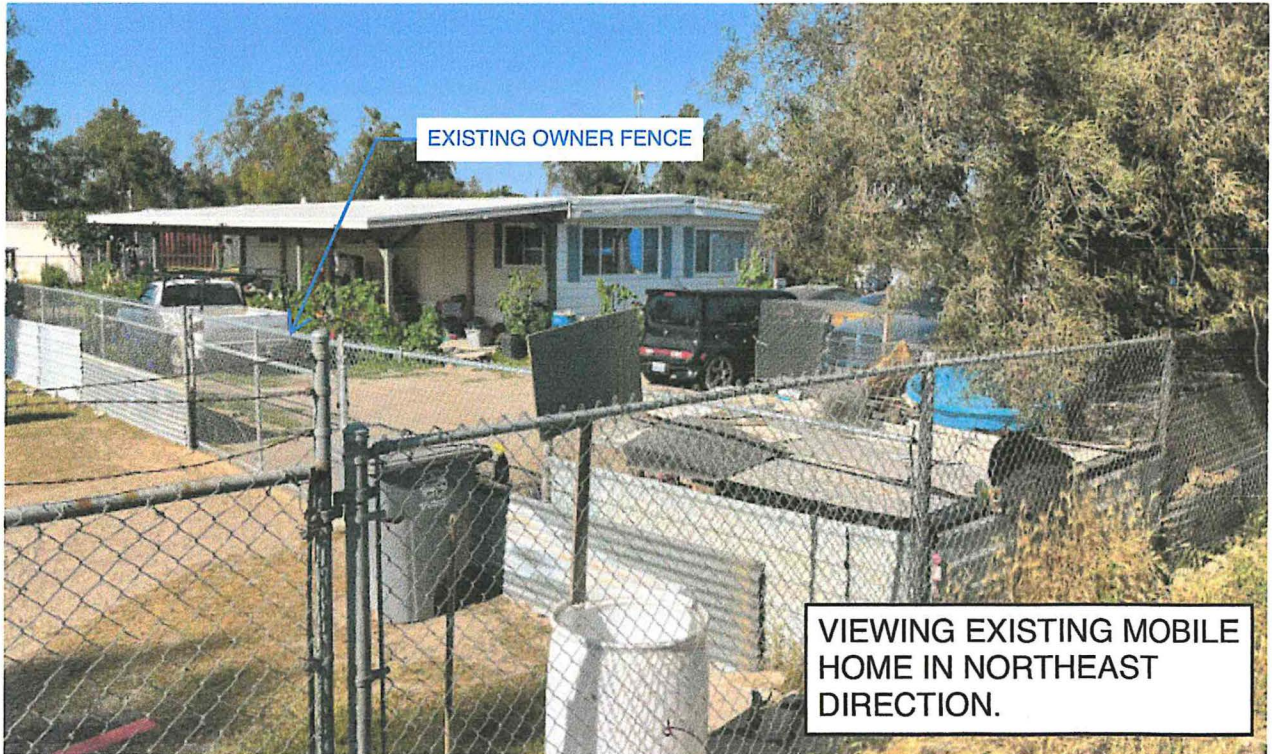




ADJACENT  
PROPERTY

PROJECT  
SITE

SOUTHWEST  
PROPERTY CORNER IN  
NORTH DIRECTION.



EXISTING OWNER FENCE

VIEWING EXISTING MOBILE  
HOME IN NORTHEAST  
DIRECTION.