



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

DATE: July 23, 2024

TO: Department of Public Works and Planning, Attn: Steven E. White, Director
Department of Public Works and Planning, Attn: Bernard Jimenez,
Planning and Resource Management Officer
Development Services and Capital Projects, Attn: William M. Kettler,
Deputy Director of Planning
Development Services and Capital Projects, Attn: Chris Motta,
Division Manager
Development Services and Capital Projects, Attn: Tawanda Mtunga
Principal Planner
Development Services and Capital Projects, Current Planning, Attn: David Randall,
Senior Planner
Development Services and Capital Projects, Policy Planning, ALCC, Attn:
Mohammad Khorsand, Senior Planner
Development Services and Capital Projects, Zoning & Permit Review, Attn:
Daniel Gutierrez, Senior Planner
Development Services and Capital Projects, Site Plan Review, Attn:
James Anders
Development Services and Capital Projects, Building & Safety/Plan Check, Attn:
Arnold Valdivia, Supervising Building Inspector
Development Engineering, Attn: Laurie Kennedy, Grading/Mapping
Road Maintenance and Operations, Attn: Wendy Nakagawa
Design Division, Transportation Planning Unit, Attn: Hector Luna
Water and Natural Resources Division, Attn: Augustine Ramirez/Roy Jimenez
Department of Public Health, Environmental Health Division, Attn:
Deep Sidhu/Kevin Tsuda
U.S. Fish and Wildlife Service, San Joaquin Valley Division, Attn: Justin Salon
CA Regional Water Quality Control Board, Attn:
centralvalleyfresno@waterboards.ca.gov
CA Department of Fish and Wildlife, Attn: R4CEQA@wildlife.ca.gov
State Water Resources Control Board, Division of Drinking Water, Fresno District,
Attn: Cinthia Reyes
Dumna Wo Wah Tribal Government, Attn: Robert Ledger, Tribal Chairman/Eric
Smith, Cultural Resources Manager/Chris Acree, Cultural Resources Analyst
Picayune Rancheria of the Chukchansi Indians, Attn: Heather Airey/Cultural
Resources Director
Santa Rosa Rancheria Tachi Yokut Tribe, Attn: Ruben Barrios, Tribal Chairman/
Hector Franco, Director/Shana Powers, Cultural Specialist II
Table Mountain Rancheria, Attn: Robert Pennell, Cultural Resources Director/Kim
Taylor, Cultural Resources Department/Sara Barnett, Cultural Resources
Department
San Joaquin Valley Unified Air Pollution Control District (PIC-CEQA Division),
Attn: PIC Supervisor

Central Delta-Mendota Region Multi-Agency GSA, Attn: amontgomery@sncwd.com
Fresno County Fire Protection District, Attn: fku.prevention-planning@fire.ca.gov

FROM: Ejaz Ahmad, Planner 
Development Services and Capital Projects Division

SUBJECT: Initial Study Application No. 8592, Classified Conditional Use Permit Application No. 3806

APPLICANT: Robert Sanders and Sean Odom

DUE DATE: August 6, 2024

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject application proposing to allow for a value-added expansion of an existing onion packing facility and additional farm labor housing units beyond the limits set forth in Zoning Ordinance on a 73.15-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre min. parcel size) zone District located on the south side of Nees Avenue, approximately 0.76-mile west of Russell Avenue and 11 miles west of the City of Firebaugh. (48845 W. Nees Avenue).

The Department is also reviewing for environmental effects, as mandated by the California Environmental Quality Act (CEQA) and for conformity with plans and policies of the County.

Based upon this review, a determination will be made regarding conditions to be imposed on the project, including necessary on-site and off-site improvements.

We must have your comments by **August 6, 2024**. Any comments received after this date may not be used.

NOTE - THIS WILL BE OUR ONLY REQUEST FOR WRITTEN COMMENTS. If you do not have comments, please provide a "NO COMMENT" response to our office by the above deadline (e-mail is also acceptable; see email address below).

Please address any correspondence or questions related to environmental and/or policy/design issues to me, Ejaz Ahmad, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or call (559) 600-4204, or email eahmad@fresnocountyca.gov

EA
G:\4360Devs&Pln\PROJSEC\PROJDOCS\CUP\3800-3899\CUP 3806\Routing\CUP 3806 Routing Ltr.doc

Activity Code (Internal Review):2432

Enclosures



Fresno County Department of Public Works and Planning

Date Received: CUP3806
(Application No.)

MAILING ADDRESS:

Department of Public Works and Planning
Development Services Division
2220 Tulare St., 6th Floor
Fresno, Ca. 93721

LOCATION:

Southwest corner of Tulare & "M" Streets, Suite A
Street Level
Fresno Phone: (559) 600-4497
Toll Free: 1-800-742-1011 Ext. 0-4497

APPLICATION FOR:

- Pre-Application (Type) _____
- Amendment Application Director Review and Approval
- Amendment to Text for 2nd Residence
- Conditional Use Permit Determination of Merger
- Variance (Class)/Minor Variance Agreements
- Site Plan Review/Occupancy Permit ALCC/RLCC
- No Shoot/Dog Leash Law Boundary Other _____
- General Plan Amendment/Specific Plan/SP Amendment
- Time Extension for _____

DESCRIPTION OF PROPOSED USE OR REQUEST:

The project consists of a 32,136 sq. ft. expansion to the farm's onion drying building, a 1,600 sq. ft. tank containment area with (4) 20,000 gallon diesel tanks, a 6,831 sq. ft. tank containment area with (30) 10,000 gallon fertilizer tanks, and a housing facility to house seasonal farm workers. The housing facility will consist of (10) 3,071 sq. ft. dormitory buildings, (2) 4,761 sq. ft. kitchen buildings, a 3,167 sq. ft. shower building, and (4) 378 sq. ft. restroom buildings.

CEQA DOCUMENTATION: Initial Study PER N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. **Attach Copy of Deed, including Legal Description.**

LOCATION OF PROPERTY: south side of West Nees Avenue
between North Oxford Avenue and North Russell Avenue
Street address: 48845 West Nees Avenue, Firebaugh, CA 93622

APN: 005-150-08s Parcel size: 73.15 acres Section(s)-Twp/Rg: S 33 - T 12 S/R 12 E

ADDITIONAL APN(s): _____

I, [Signature] (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

David J. Peri - Manager	48845 West Nees Avenue	Firebaugh	93622	(775) 781-1662
Owner (Print or Type)	Address	City	Zip	Phone
GMA Engineering - Reps: Jeremy Johnson, Sean Odum, and Rob Sanders	7337 North First Street Suite #110	Fresno	36526	(559) 435-1411
Applicant (Print or Type)	Address	City	Zip	Phone
<u>Same as applicant</u>				<u>Robert Sanders</u>
Representative (Print or Type)	Address	City	Zip	Phone

CONTACT EMAIL:

OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)	
Application Type / No.:	<u>CUP (C) 3806</u>
Application Type / No.:	Fee: \$ <u>4,706.07</u>
Application Type / No.:	Fee: \$
Application Type / No.:	Fee: \$
PER/Initial Study No.:	<u>IS 8592</u>
Ag Department Review:	Fee: \$ <u>5,464.70</u>
Health Department Review:	Fee: \$ <u>51.00</u>
Received By: <u>EJAZ</u>	Invoice No.: _____
TOTAL: \$ _____	

UTILITIES AVAILABLE:	
WATER: Yes <input type="checkbox"/> / No <input type="checkbox"/>	Agency: _____
SEWER: Yes <input type="checkbox"/> / No <input type="checkbox"/>	Agency: _____

STAFF DETERMINATION: This permit is sought under Ordinance Section:

Sect-Twp/Rg: _____ - T _____ S / R _____ E

Related Application(s): _____

APN # _____ - _____ - _____

Zone District: AE-20

APN # _____ - _____ - _____

Parcel Size: 73.15 acres

APN # _____ - _____ - _____

APN # _____ - _____ - _____



EMAIL TO: rob@gmaengineering.com & sean@gmaengineering.com

Development Services and Capital Projects Division

Pre-Application Review

Department of Public Works and Planning

Mail To: 7337 N First St Unit 110 Fresno, CA 93720

NUMBER: 23-016946 APPLICANT: Robert Sanders & Sean Odom PHONE: 559-435-1411

PROPERTY LOCATION: 48845 W NEES AVE FIREBAUGH, California, 93622, USA APN(s): 005-150-08s ALCC: No Yes # 1485 VIOLATION NO. CNEL: No x Yes (level) LOW WATER: No x Yes WITHIN 1/2 MILE OF CITY: No x Yes ZONE DISTRICT: AE20; SRA: No x Yes HOMESITE DECLARATION REQ'D.: No x Yes LOT STATUS:

Zoning: (x) Conforms; () Legal Non-Conforming lot; () Deed Review Req'd (see Form #236) Merger: May be subject to merger: No x Yes ZM# Initiated In process Map Act: () Lot of Rec. Map; () On '72 rolls; (x) Other Permit History; () Deeds Req'd (see Form #236)

SCHOOL FEES: No Yes DISTRICT: DOS PALOS-ORO LOMA UNIFIED, MERCED JUNIOR COLLEGE AEA 6 PERMIT JACKET: No Yes x FMFCD FEE AREA: (x) Outside () District No.: FLOOD PRONE: No A Yes

PROPOSAL PRE-APPLICATION FOR A CUP TO ALLOW AN EXPANSION OF AN (E) ONION PACKING FACILITY AND ADDITIONAL FARM WORKER HOUSING UNITS BEYOND LIMITS SET FORTH IN 855-O.3. (AS BUILT)

COMMENTS: ORD. SECTION(S): 816.3-A & 855-O.3.h BY: G SANDERS DATE: 12/1/23

GENERAL PLAN POLICIES:

LAND USE DESIGNATION: Agricultural COMMUNITY PLAN: REGIONAL PLAN: SPECIFIC PLAN: SPECIAL POLICIES: SPHERE OF INFLUENCE: ANNEX REFERRAL (LU-G17/MOU):

PROCEDURES AND FEES:

() GPA: () MINOR VA: () AA: (x) HD: \$1654.00 (x) CUP: \$4,659.00 (x) AG COMM: \$151.00 () DRA: (x) ALCC: () VA: (x) IS/PER*: \$3,901.00 () AT: () Viol. (35%): () TT: () Other:

COMMENTS: Filing Fee: \$9,265.00 Pre-Application Fee: - \$247.00 Total County Filing Fee: \$9,018.00

FILING REQUIREMENTS:

- (x) Land Use Applications and Fees (x) This Pre-Application Review form (x) Copy of Deed / Legal Description (x) Photographs () Letter Verifying Deed Review (x) IS Application and Fees* * Upon review of project materials, an Initial Study (IS) with fees may be required. (x) Site Plans - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction (x) Floor Plan & Elevations - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction (x) Project Description / Operational Statement (Typed) (x) Statement of Variance Findings (x) Statement of Intended Use (ALCC) () Dependency Relationship Statement () Resolution/Letter of Release from City of () Nitrogen Loading Analysis or RWQCB supplemental treatment

OTHER FILING FEES:

- (x) Archaeological Inventory Fee: \$75 at time of filing (Separate check to Southern San Joaquin Valley Info. Center) (x) CA Dept. of Fish & Wildlife (CDFW): (\$50+\$2,764) (Separate check to Fresno County Clerk for pass-thru to CDFW. Must be paid prior to IS closure and prior to setting hearing date.)

BY: Reymundo Peraza DATE: 1-16-24 PHONE NUMBER: (559) 600-4224

- NOTE: THE FOLLOWING REQUIREMENTS MAY ALSO APPLY: () COVENANT (x) SITE PLAN REVIEW () MAP CERTIFICATE (x) BUILDING PLANS () PARCEL MAP (x) BUILDING PERMITS () FINAL MAP () WASTE FACILITIES PERMIT () FMFCD FEES () SCHOOL FEES (x) ALUC or ALCC () OTHER (see reverse side)

PLU # 113 Fee: \$247.00 Note: This fee will apply to the application fee if the application is submitted within six (6) months of the date on this receipt. OVER.....



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

AGENT AUTHORIZATION

AUTHORIZATION OF AGENT TO ACT ON BEHALF OF PROPERTY OWNER

The Agent Authorization form is required whenever a property owner grants authority to an individual to submit and/or pursue a land use entitlement application on their behalf. This form must be completed by the property owner and submitted with the land use entitlement application to confirm that the property owner has granted authority to a representative to sign application forms on their behalf and represent them in matters related to a land use entitlement application.

The below named person is hereby authorized to act on my behalf as agent in matters related to land use entitlement applications associated with the property listed below.

Rob Sanders, Sean Odom, Nik Mohammad, reps
Agent Name (Print or Type)

GMA Engineering
Company Name (Print or Type)

7337 N. First St., Suite #110
Mailing Address
office - 559-435-1411
cell - 559-392-9819
Phone Number

Fresno, CA 36526
City / State / Zip Code

sean@gmaengineering.com
Email Address

005-150-08S
Project APN

48845 West Nees Avenue, Firebaugh CA 93622
Project Street Address

A list consisting of ____ additional properties is attached (include the APN for each property).

Project Description (Print or Type):

Construction of several buildings as an addition to the existing onion packing/storage facility

See site plan and Operational Statement for more information

The undersigned declares under penalty of perjury that they own, possess, control or manage the property referenced in this authorization and that they have the authority to designate an agent to act on behalf of all the owners of said property. The undersigned acknowledges delegation of authority to the designated agent and retains full responsibility for any and all actions this agent makes on behalf of the owner.


Owner Signature

1/30/24
Date

David J Peri Manager
Owner Name (Print or Type)

775-781-1662
Phone Number

John@Primewestconstruction.com
Email Address

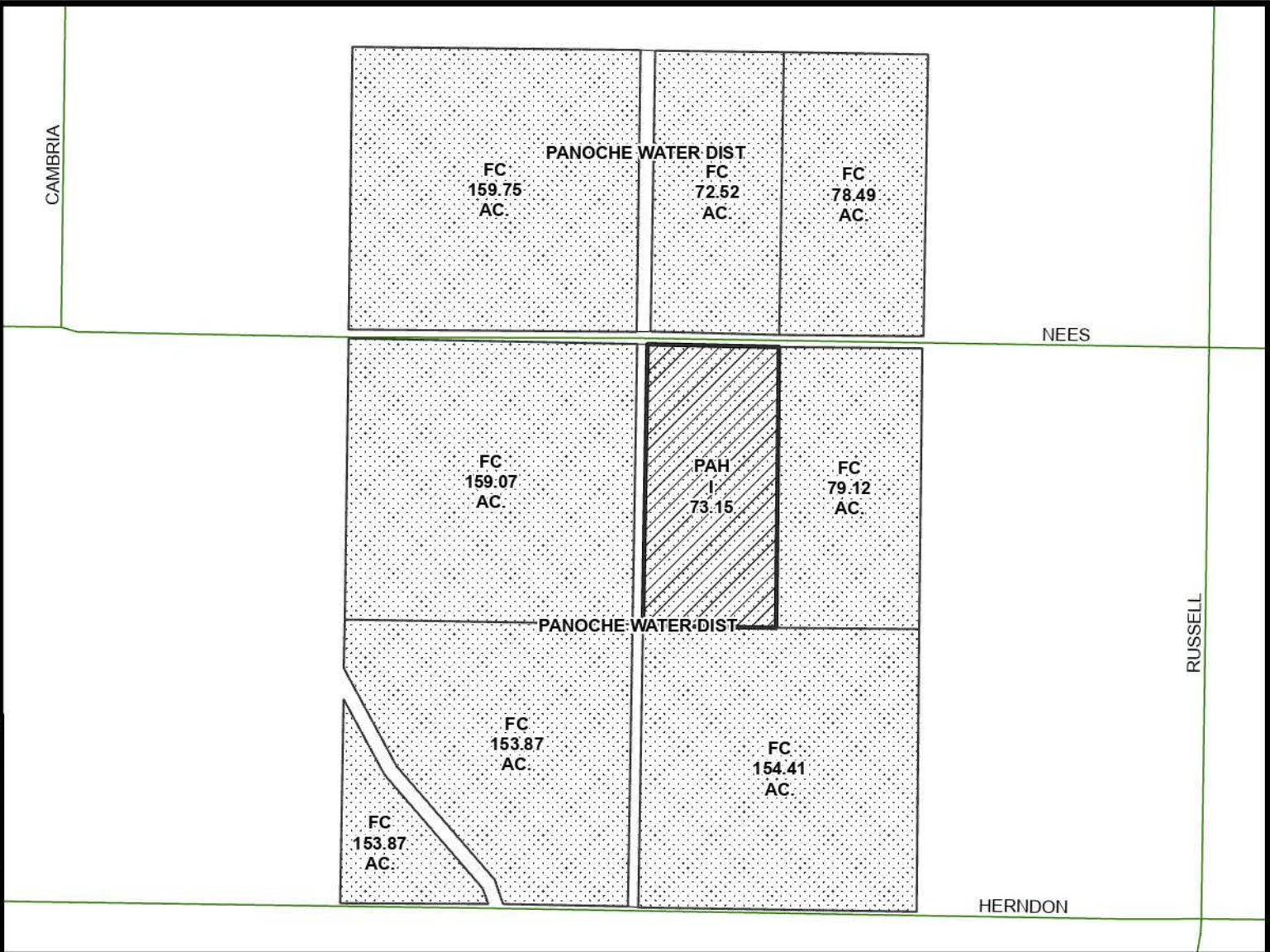
** If the legal owner of the property is a corporation, company, partnership or LLC, provide a copy of a legal document with this authorization form showing that the individual signing this authorization form is a duly authorized partner, officer or owner of said corporation, company, partnership or LLC.*

G:\4360Devs&PIn\FORMS\F410 Agent Authorization 8-14-19.doc

DEVELOPMENT SERVICES AND CAPITAL PROJECTS DIVISION
2220 Tulare Street, Sixth Floor / Fresno, California 93721 / Phone (559) 600-4497 / 600-4022 / 600-4540 / FAX 600-4200
The County of Fresno is an Equal Employment Opportunity Employer

LEGEND:

-  Subject Property
-  Ag Contract Land

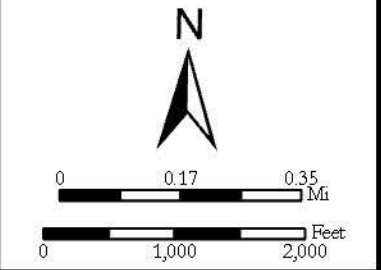


Existing Land Use Map

CUP 3806

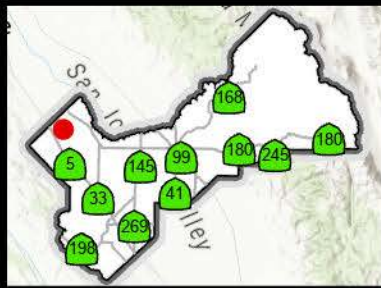
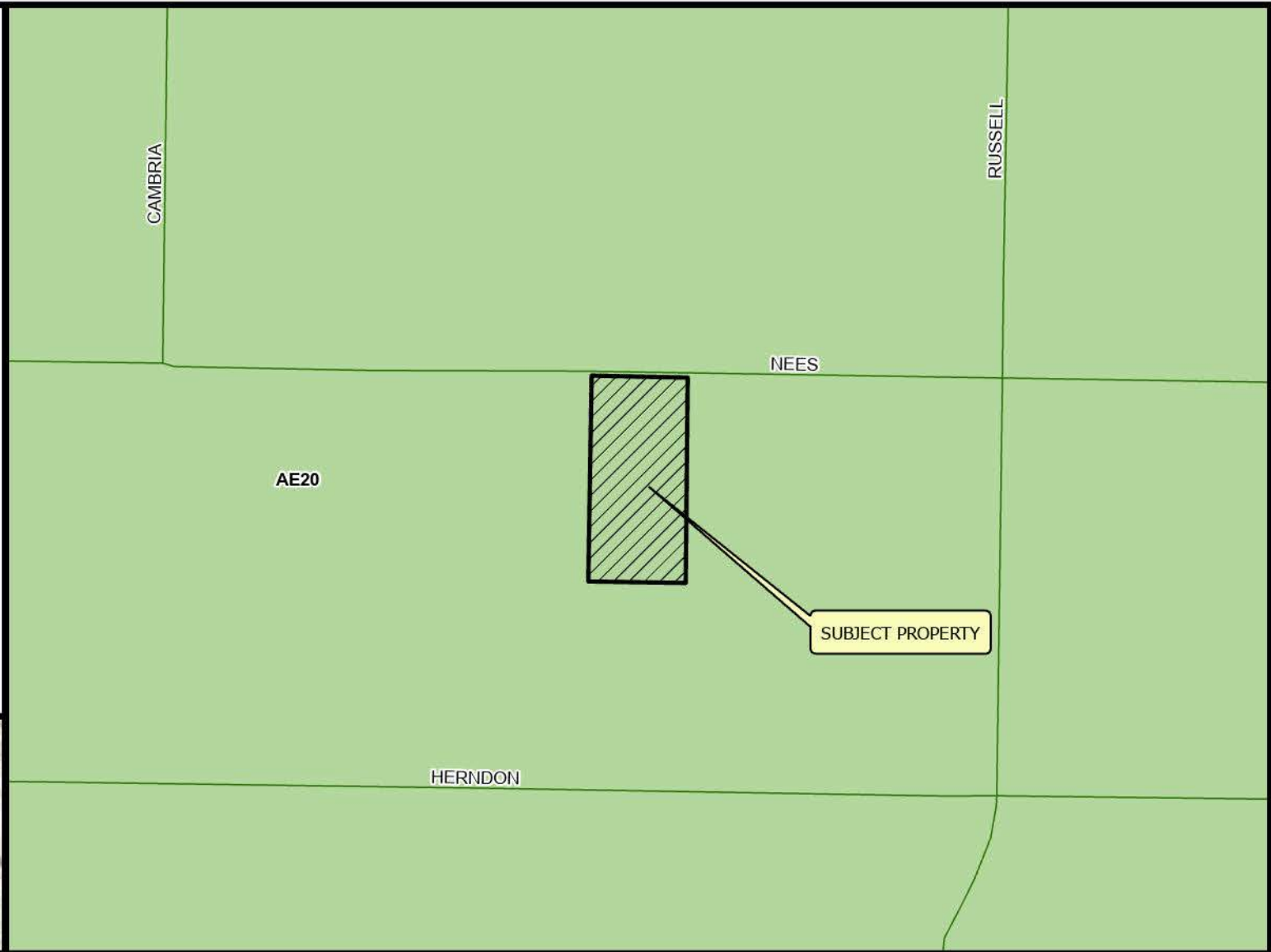
2024

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division
 Person Prepared by : chuwang
 On Date : 7/16/2024



Legend

-  Subject Property
-  AE20

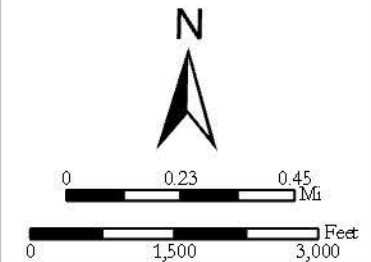


Existing Zoning Map

CUP 3806
STR 13 - 15S / 20E

2024

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division
Person Prepared by : chuang
On Date : 7/16/2024



Legend



Subject Property

CAMBRIA

RUSSELL

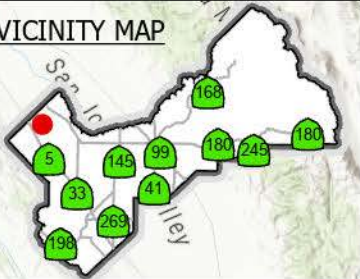
NEES



SUBJECT PROPERTY

HERNDON

VICINITY MAP



LOCATION MAP

CUP 3806

2024

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division
Person Prepared by : chuvang
On Date : 7/16/2024



0 0.23 0.45 Mi

0 1,500 3,000 Feet



GERALD A. MELE, PE, SE
MARTIN R. INESS, PE, SE
ROBERT A. SANDERS, ARCHITECT
BRAD S. EDWARDS, PE, SE

County of Fresno
Planning Department
2220 Tulare St.
Fresno, Ca 93721

Peri & Sons Farms of California, LLC – Storage Facility
Operational Statement

To whom it may concern,

The project will be located on the parcel with the APN of 005-150-08S, which has a current zoning designation of AE20 – Exclusive Agricultural and an address of 48845 West Nees Avenue, Firebaugh, CA 93622. The operational statement information for the above-mentioned parcel is as follows:

1. Nature of the operation:

The project consists of a 32,136 sq. ft. expansion to the farm’s onion drying building in which fresh onions are placed to cure. This will give the farm greater capacity for storing and curing fresh onions. This will be an addition to the company’s existing onion packing/ dry storage facility.

2. Operational time limits:

The site operates 7 days per week, 24 hours per day.

3. Number of customers or visitors:

The site receives no customers or visitors and no change to this is anticipated with this project.

4. Number of employees:

The facility has 12 employees. The proposed building addition will cause no increase in the number of employees.

5. Service and delivery vehicles:

The farm receives 83 trucks per day during the harvest season and no trucks out of season. No additional trucks will be received with this project. The farm operates 12 service or delivery trucks that are stored on-site.

6. Access to the site:

Access to the site is from two driveway entrances at the north of the site off West Nees Avenue.



GERALD A. MELE, PE, SE
MARTIN R. INESS, PE, SE
ROBERT A. SANDERS, ARCHITECT
BRAD S. EDWARDS, PE, SE

7. Number of parking stalls for employees, customers, and service/delivery vehicles:

The site has 13 concrete paved parking stalls for employees.

8. Are any goods sold on-site?

No goods will be sold on-site.

9. What equipment will be used?

The equipment used at this facility will be forklifts and flatbed trucks.

10. What supplies or materials are used and how are they stored?

No hazardous materials or supplies will be produced as part of this project.

11. Does the use cause any unsightly appearance?

The project will not cause any unsightly appearance.

12. List any solid or liquid wastes to be produced:

No unusual waste will be produced. Solid waste will be disposed of by a private waste disposal service and liquid waste will be disposed of by a septic system with leach field.

13. Estimated volume of water to be used (gallons per day).

No water is used except for normal restroom usage/ drinking water and the fire suppression system as onion storage/ packing is a dry process.

14. Describe any proposed advertising:

No advertising is proposed.

15. Will the existing buildings be used, or will new buildings be constructed?

Existing buildings will be used, and new building additions will be constructed.

16. Explain which buildings or portions of buildings will be used in this operation:

All of the buildings will be used.



GERALD A. MELE, PE, SE
MARTIN R. INESS, PE, SE
ROBERT A. SANDERS, ARCHITECT
BRAD S. EDWARDS, PE, SE

17. Will any outdoor lighting or outdoor sound amplification system be used?

Existing outdoor lighting will be used but no sound amplification system.

Landscaping or fencing proposed:

The site is enclosed by an existing chain link fencing and no landscaping is proposed.

19. Any additional information:

None.

20. Identify all owners, etc.:

Peri & Sons Farms of California, LLC

Respectfully submitted,

Sean Odom
Gerald Mele & Associates, Inc.



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING

INITIAL STUDY APPLICATION

INSTRUCTIONS

Answer all questions completely. An incomplete form may delay processing of your application. Use additional paper if necessary and attach any supplemental information to this form. Attach an operational statement if appropriate. This application will be distributed to several agencies and persons to determine the potential environmental effects of your proposal. Please complete the form in a legible and reproducible manner (i.e., USE BLACK INK OR TYPE).

OFFICE USE ONLY

IS No. _____

Project No(s). _____

Application Rec'd.: _____

GENERAL INFORMATION

1. **Property Owner :** David J. Peri - Manager **Phone/Fax** (775) 781-1662

Mailing

Address: 48845 West Nees Avenue Firebaugh CA, 93622
Street City State/Zip

2. **Applicant :** GMA Engineering - Reps: Jeremy Johnson, Sean Odom and Rob Sanders **Phone/Fax:** (559) 435-1411

Mailing

Address: 7337 North First Street, Suite #110 Fresno CA, 36526
Street City State/Zip

3. **Representative:** _____ **Phone/Fax:** _____

Mailing

Address: _____
Street City State/Zip

4. **Proposed Project:** The project consists of a 32,136 sq. ft. expansion to the farm's onion drying building, a 1,600 sq. ft. tank containment area with (4) 20,000 gallon diesel tanks, a 6,831 sq. ft. tank containment area with (30) 10,000 gallon fertilizer tanks, and a housing facility to house seasonal farm workers. The housing facility will consist of (10) 3,071 sq. ft. dormitory buildings, (2) 4,761 sq. ft. kitchen buildings, a 3,167 sq. ft. shower building, and (4) 378 sq. ft. restroom buildings.

5. **Project Location:** The site is located on the south side of West Nees Avenue between North Oxford Avenue on the West and North Russell Avenue on the east.

6. **Project Address:** 48845 West Nees Avenue, Firebaugh, CA 93622

7. **Section/Township/Range:** 33 / T. 12 S. / R. 12 E. 8. **Parcel Size:** 73.15 acres

9. **Assessors Parcel No.** 005-150-08s

DEVELOPMENT SERVICES DIVISION

2220 Tulare Street, Sixth Floor / Fresno, California 93721 / Phone (559) 262-4497 / 262-4022 / 262-4029 / 262-4211 / FAX 262-4893

Equal Employment Opportunity • Affirmative Action • Disabled Employer

10. Land Conservation Contract No. (If applicable): AP-1485

11. What other agencies will you need to get permits or authorization from:

- | | |
|--|--|
| <input type="checkbox"/> LAFCo (annexation) | <input type="checkbox"/> SJVUAPCD (Air Pollution Control District) |
| <input type="checkbox"/> CALTRANS | <input type="checkbox"/> Reclamation Board |
| <input type="checkbox"/> Division of Aeronautics | <input type="checkbox"/> Department of Energy |
| <input type="checkbox"/> Water Quality Control Board | <input type="checkbox"/> Airport Land Use Commission |
| <input type="checkbox"/> Other _____ | |

12. Will the project utilize Federal funds or require other Federal authorization subject to the provisions of the National Environmental Policy Act (NEPA) of 1969? Yes No

If so, please provide a copy of all related grant and/or funding documents, related information and environmental review requirements.

13. Existing Zone District¹: AE20 - Exclusive Agricultural

14. Existing General Plan Land Use Designation¹: Agriculture

ENVIRONMENTAL INFORMATION

15. Present land use: The parcel is the site of Peri & Sons Farms onion packing operation.
Describe existing physical improvements including buildings, water (wells) and sewage facilities, roads, and lighting. Include a site plan or map showing the previously listed improvements:
see site plan

Describe the major vegetative cover: Onions during harvest season and scrub grass for erosion control off-season.
Any perennial or intermittent water courses? If so, show on map: An irrigation canal runs north/south along the west of the facility.

Is property in a flood prone area? Describe: The property is in flood zone 'A.'

16. Describe surrounding land uses (e.g., commercial, agricultural, residential, school, etc.):
North: agricultural
South: agricultural
East: agricultural
West: agricultural

17. What land use(s) in the area may be impacted by your Project?: none

18. What land use(s) in the area may impact your project?: none

19. Transportation:

NOTE: The information below will be used in determining traffic impacts from this project. The data may also show the need for a Traffic Impact Study (TIS) for the project.

A. Will additional driveways from the proposed project site be necessary to access public roads?
 Yes x No

B. Daily traffic generation:

I. Residential - Number of Units	<u>0</u>
Lot Size	<u>0</u>
Single Family	<u>0</u>
Apartments	<u>0</u>
II. Commercial - Number of Employees	<u>372 of which 360 are only in the harvest season</u>
Number of Salesmen	<u>0</u>
Number of Delivery Trucks	<u>83 only used during harvest season</u>
Total Square Footage of Building	<u>264,800 sq. ft. existing buildings, 90,422 phase 1 buildings, 8,000 sq. ft. phase 2 buildings, and 40,440 sq. ft. phase 3 buildings</u>

III. Describe and quantify other traffic generation activities: 24 company vans will be used
daily to transport farm labor workers to harvest areas and 15 employee-owned vehicles for
personal use are expected to generate traffic to and from the proposed farm labor housing area.

20. Describe any source(s) of noise from your project that may affect the surrounding area: none

21. Describe any source(s) of noise in the area that may affect your project: none

22. Describe the probable source(s) of air pollution from your project: none

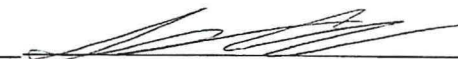
23. Proposed source of water:

(x) private well

() community system³--name: _____

24. Anticipated volume of water to be used (gallons per day)²: Typical for restroom, laundry, kitchen, and breakroom use for 372 people. The onion drying operation is a dry process.
25. Proposed method of liquid waste disposal:
 (x) septic system/individual
 () community system³-name _____
26. Estimated volume of liquid waste (gallons per day)²: Typical for restroom, laundry, kitchen, and breakroom use for 372 people. The onion drying operation is a dry process.
27. Anticipated type(s) of liquid waste: Typical for restroom, laundry, kitchen, and breakroom use for 372 people. The onion drying operation is a dry process.
28. Anticipated type(s) of hazardous wastes²: none
29. Anticipated volume of hazardous wastes²: none
30. Proposed method of hazardous waste disposal²: N/A
31. Anticipated type(s) of solid waste: Typical trash produced from restroom, laundry, kitchen, and breakroom use for 372 people. Onion waste is sold to nearby farms for cattle feed.
32. Anticipated amount of solid waste (tons or cubic yards per day): Typical for restroom, laundry, kitchen, and breakroom use for 372 people. Onion waste is sold to nearby farms for cattle feed.
33. Anticipated amount of waste that will be recycled (tons or cubic yards per day): Typical amount for restroom, laundry, kitchen, and breakroom use for 372 people.
34. Proposed method of solid waste disposal: Private trash service
35. Fire protection district(s) serving this area: Fresno County Fire
36. Has a previous application been processed on this site? If so, list title and date: No. Previous projects were by right use on agricultural land.
37. Do you have any underground storage tanks (except septic tanks)? Yes _____ No x
38. If yes, are they currently in use? Yes _____ No _____

TO THE BEST OF MY KNOWLEDGE, THE FOREGOING INFORMATION IS TRUE.


 SIGNATURE

05/14/2024
 DATE

¹ Refer to Development Services Conference Checklist

² For assistance, contact Environmental Health System, (559) 445-3357

³ For County Service Areas or Waterworks Districts, contact the Resources Division, (559) 262-4259

NOTICE AND ACKNOWLEDGMENT

INDEMNIFICATION AND DEFENSE

The Board of Supervisors has adopted a policy that applicants should be made aware that they may be responsible for participating in the defense of the County in the event a lawsuit is filed resulting from the County's action on your project. You may be required to enter into an agreement to indemnify and defend the County if it appears likely that litigation could result from the County's action. The agreement would require that you deposit an appropriate security upon notice that a lawsuit has been filed. In the event that you fail to comply with the provisions of the agreement, the County may rescind its approval of the project.

STATE FISH AND GAME FEE


State law requires that specified fees (\$2,768.25 for an EIR; \$1,993.00 for a Negative Declaration) be paid to the California Department of Fish and Game (DFG) for projects, which must be reviewed for potential adverse effect on wildlife resources. The County is required to collect the fees on behalf of the DFG. A \$50.00 handling fee will also be charged as provided for in the legislation to defray a portion of the County's costs for collecting the fees.

The following projects are exempt from the fees:

1. All projects statutorily exempt from the provisions of CEQA (California Environmental Quality Act).
2. All projects categorically exempt by regulations of the Secretary of Resources (State of California) from the requirement to prepare environmental documents.

A fee exemption may be issued by DFG for eligible projects determined by that agency to have "no effect on wildlife." That determination must be provided in advance from DFG to the County at the request of the applicant. You may wish to call the local office of the DFG at (559) 222-3761, if you need more information.

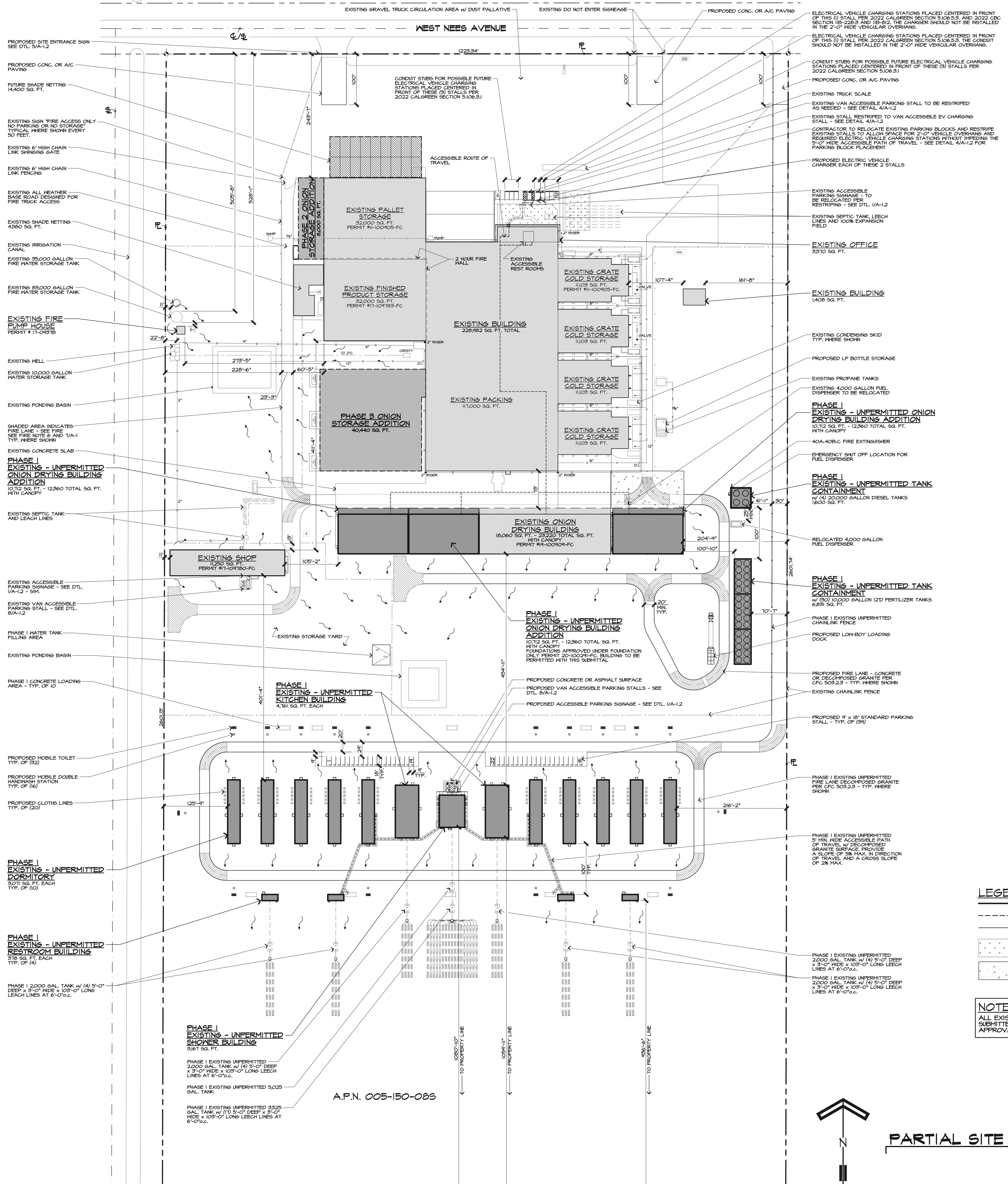
Upon completion of the Initial Study you will be notified of the applicable fee. Payment of the fee will be required before your project will be forwarded to the project analyst for scheduling of any required hearings and final processing. The fee will be refunded if the project should be denied by the County.



Applicant's Signature

05/14/2024

Date



A.P.N. 005-150-083

- LEGEND :**
- PROPOSED/EXISTING UNPERMITTED
 - - - FUTURE PHASES
 - EXISTING
 - ▨ EXISTING LANDSCAPING
 - ▨ PROPOSED SITE CONCRETE PAVING

NOTE :
 ALL EXISTING UNPERMITTED STRUCTURES TO BE SUBMITTED UNDER PHASE I FOR BUILDING DEPARTMENT APPROVAL.

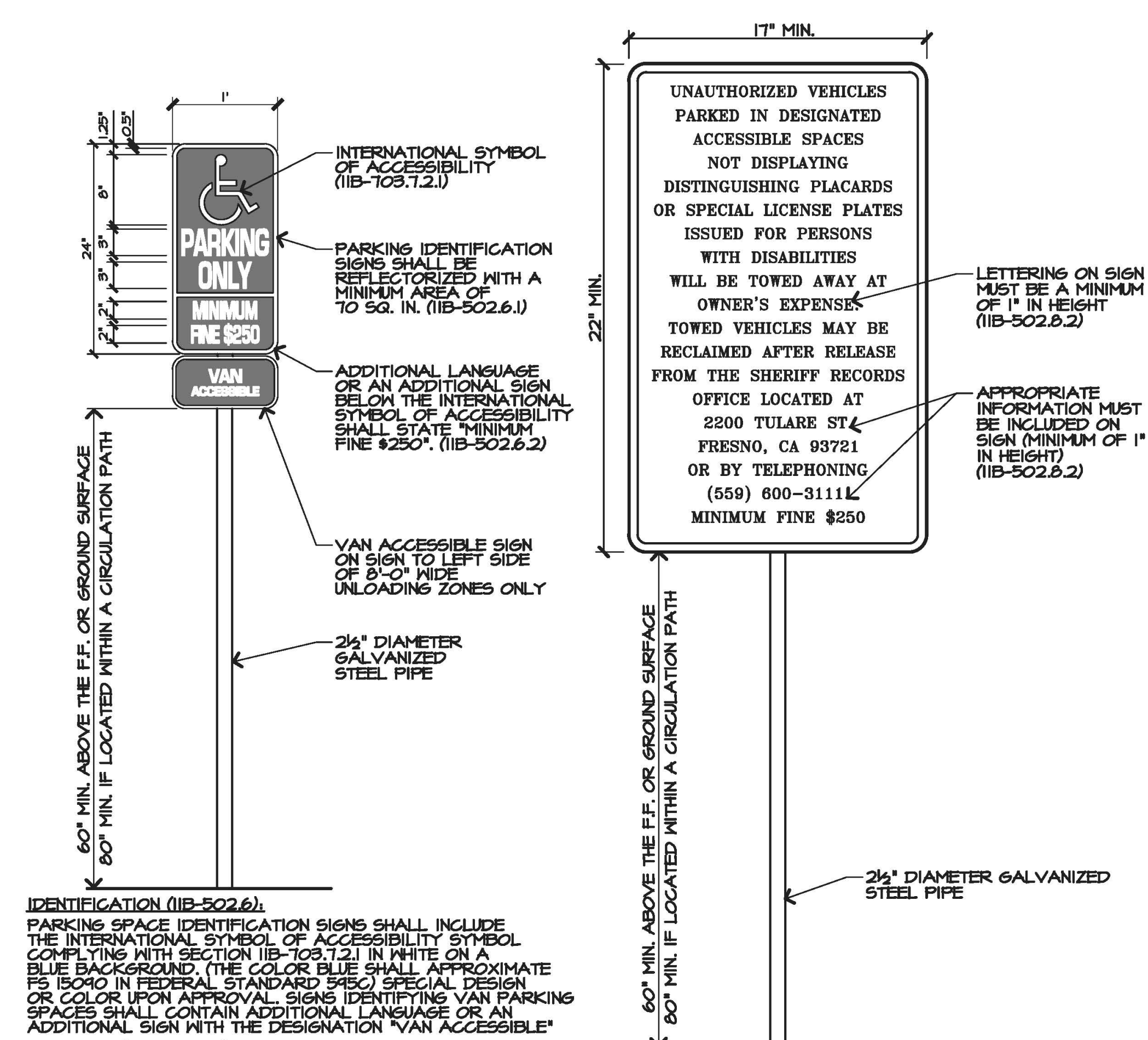
DESIGNED BY
GMA
 GERALD MELE & ASSOCIATES, INC.
 7337 N. FIRST ST., SUITE 110 FRENO, CA 93720 (559)435-1111 FAX (559)435-1189
 GERALD A. MELE, P.E. SE
 MARTIN R. NESS, P.E. SE
 JOHN W. HARRIS, P.E. SE
 BRAD S. EDWARDS, P.E. SE
 LUIS A. GOMEZ, P.E. SE

PROJECT
2024 C.U.P.

PROPOSED PROJECT FOR
PERI & SONS FARMS OF CALIFORNIA, LLC
 14684E N. NEES AVE.
 FIREBAUGH, CA 93622
 559-416-5188

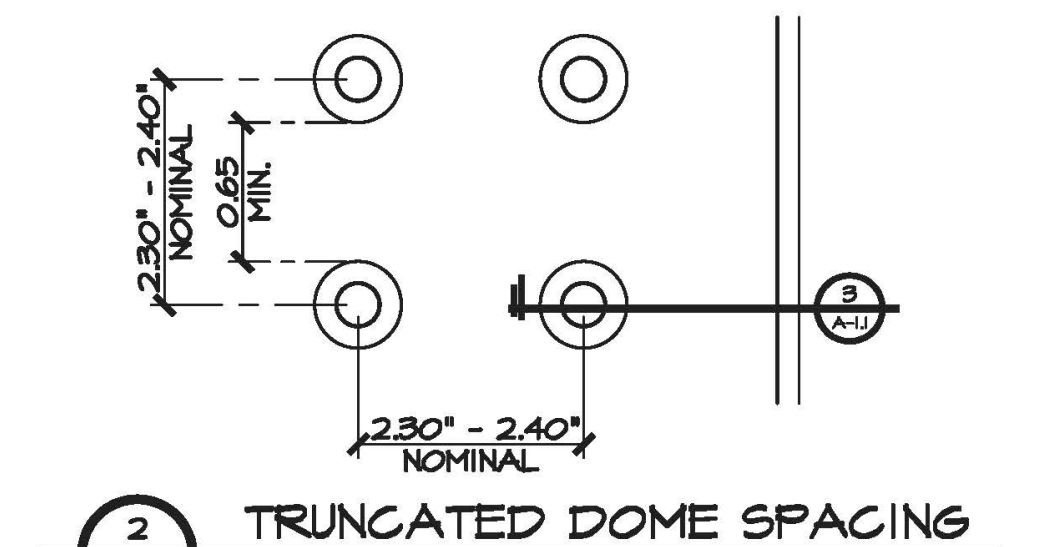
No.	Issue/Revision	Date

Date 03/18/24
 Scale 1" = 80'-0"
 Dr. By JER-AM-1
 Job No. 2022.055
 Dwg. No. 22055PSP
 Sheet
A-1.1
 Revision No.

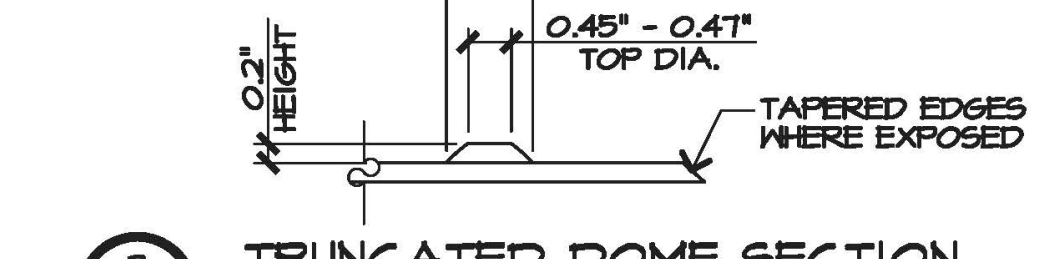


IDENTIFICATION (11B-502.6).
 PARKING SPACE IDENTIFICATION SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SYMBOL COMPLYING WITH SECTION 11B-103.1.2.1 IN WHITE ON A BLUE BACKGROUND. THE COLOR BLUE SHALL APPROXIMATE TO 15000 IN FEDERAL STANDARD 5950 SPECIAL DESIGN OR COLOR OR IN AN APPROVAL SIGN IDENTIFYING VAN PARKING SPACES SHALL CONTAIN ADDITIONAL LANGUAGE OR AN ADDITIONAL SIGN WITH THE DESIGNATION "VAN ACCESSIBLE" LOCATION (11B-502.6.3).
 A PARKING SPACE IDENTIFICATION SIGN SHALL BE VISIBLE FROM EACH PARKING SPACE. SIGNS SHALL BE PERMANENTLY POSTED EITHER IMMEDIATELY ADJACENT TO THE PARKING SPACE OR WITHIN THE PROJECTED PARKING SPACE WIDTH AT THE HEAD END OF THE PARKING SPACE. SIGNS MAY ALSO BE PERMANENTLY POSTED ON A WALL AT THE INTERIOR END OF THE PARKING SPACE.

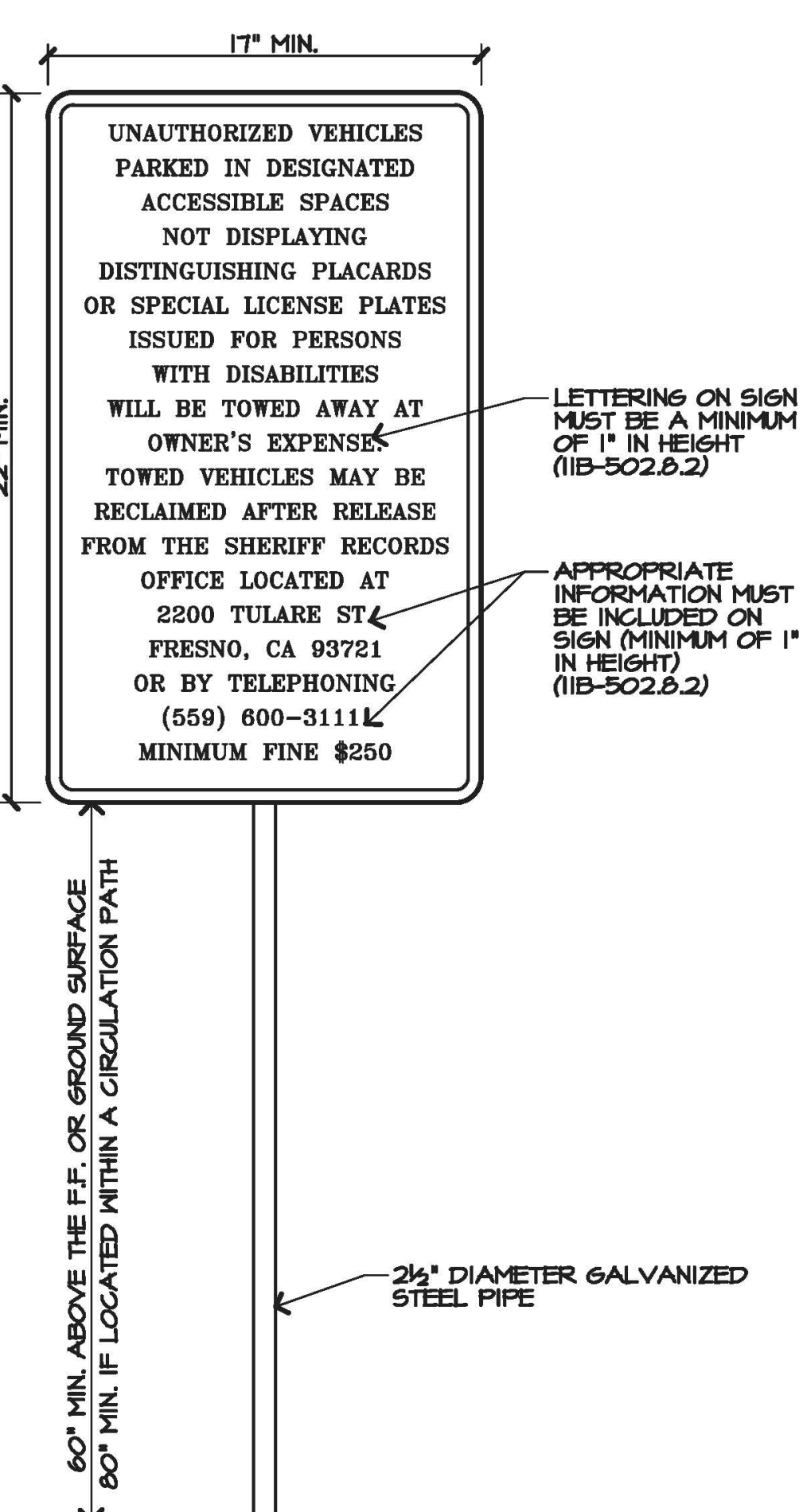
1 ACCESSIBLE PARKING SIGN
 NOT TO SCALE



2 TRUNCATED DOME SPACING
 PER 2022 CBC FIGURE 11B-105.1
 SCALE: 1/4\"/>

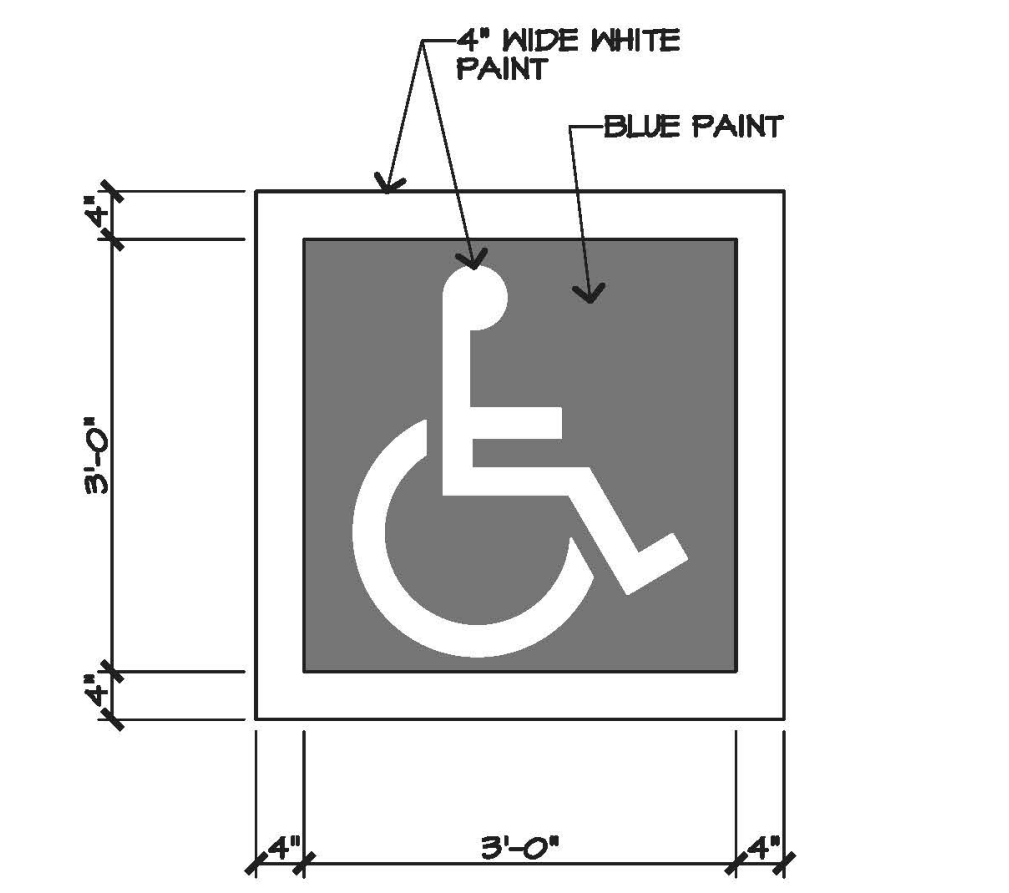


3 TRUNCATED DOME SECTION
 PER 2022 CBC FIGURE 11B-105.1
 SCALE: 1/4\"/>

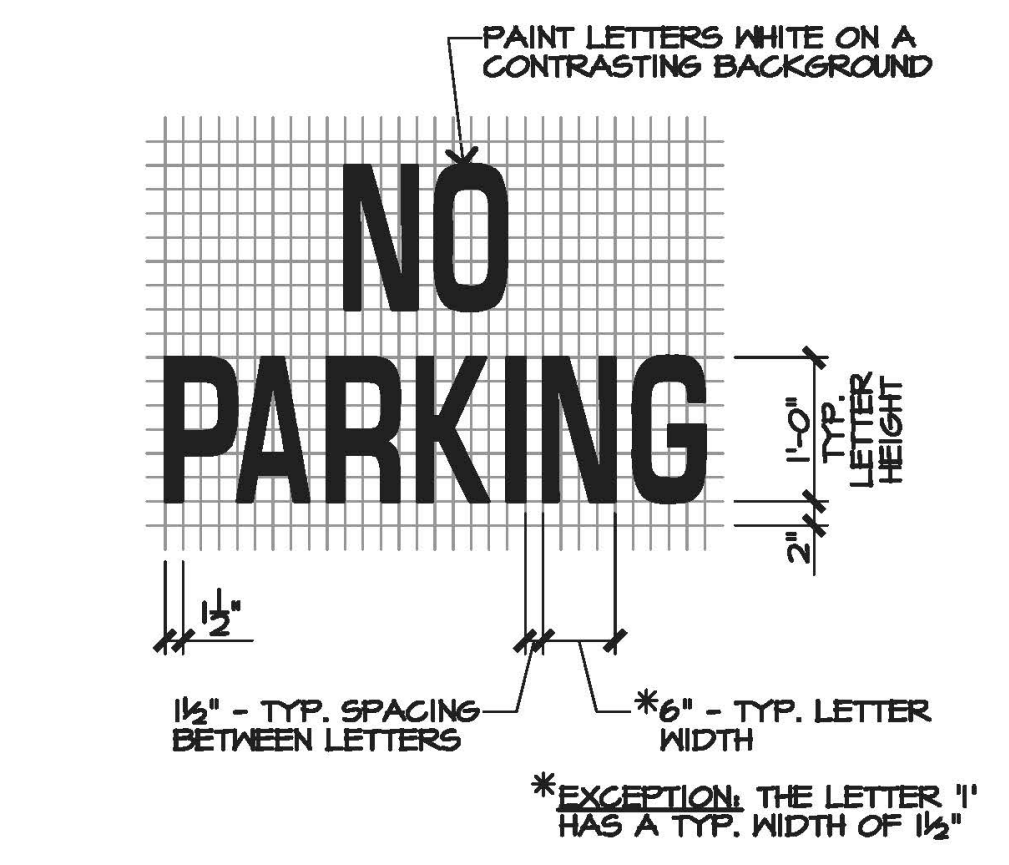


ADDITIONAL SIGNAGE (11B-502.8).
 AN ADDITIONAL SIGN SHALL BE POSTED EITHER 1) IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO AN OFF-STREET PARKING FACILITY OR 2) IMMEDIATELY ADJACENT TO ON-SITE ACCESSIBLE PARKING AND VISIBLE FROM EACH PARKING SPACE.

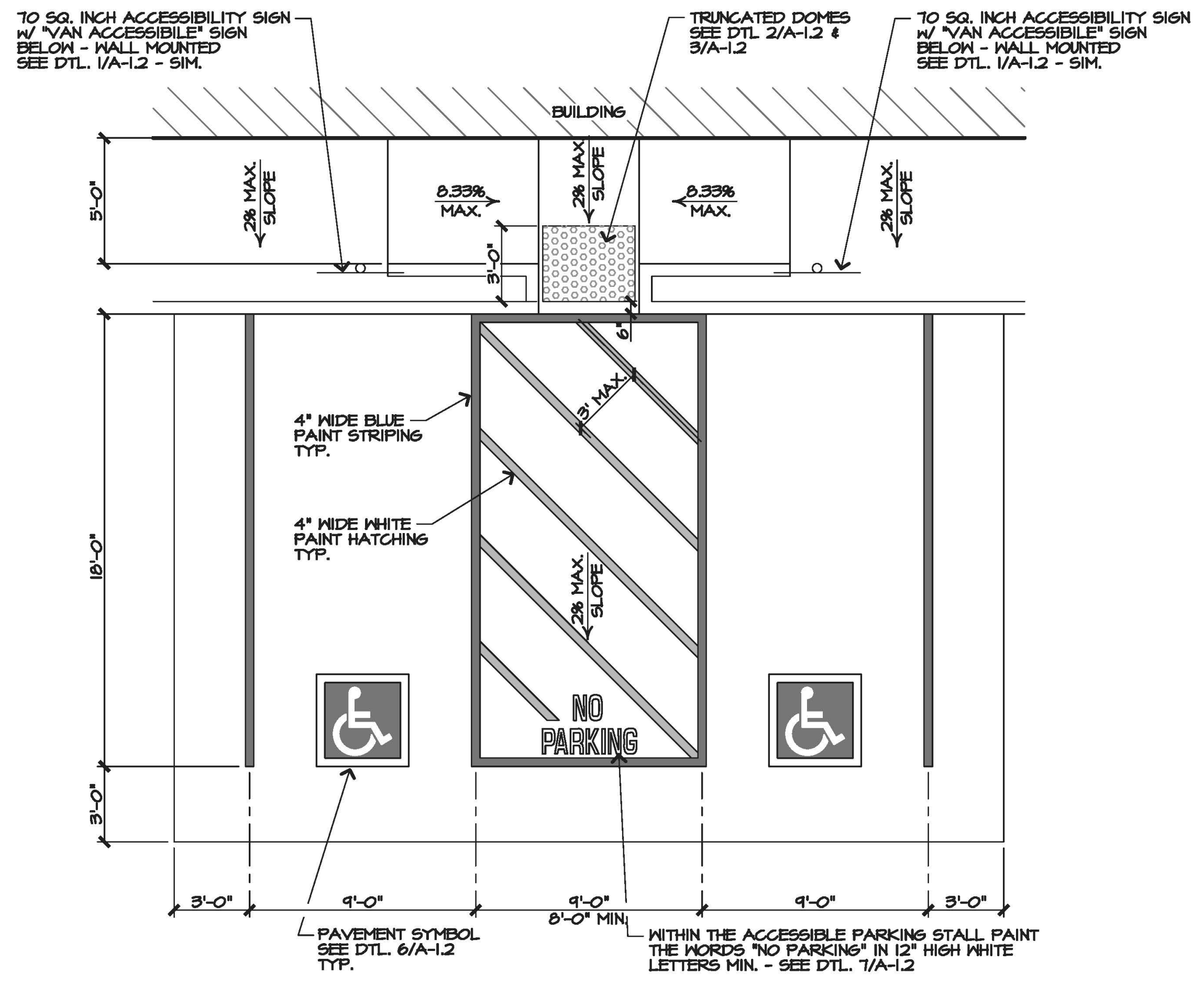
5 SITE ENTRANCE SIGN



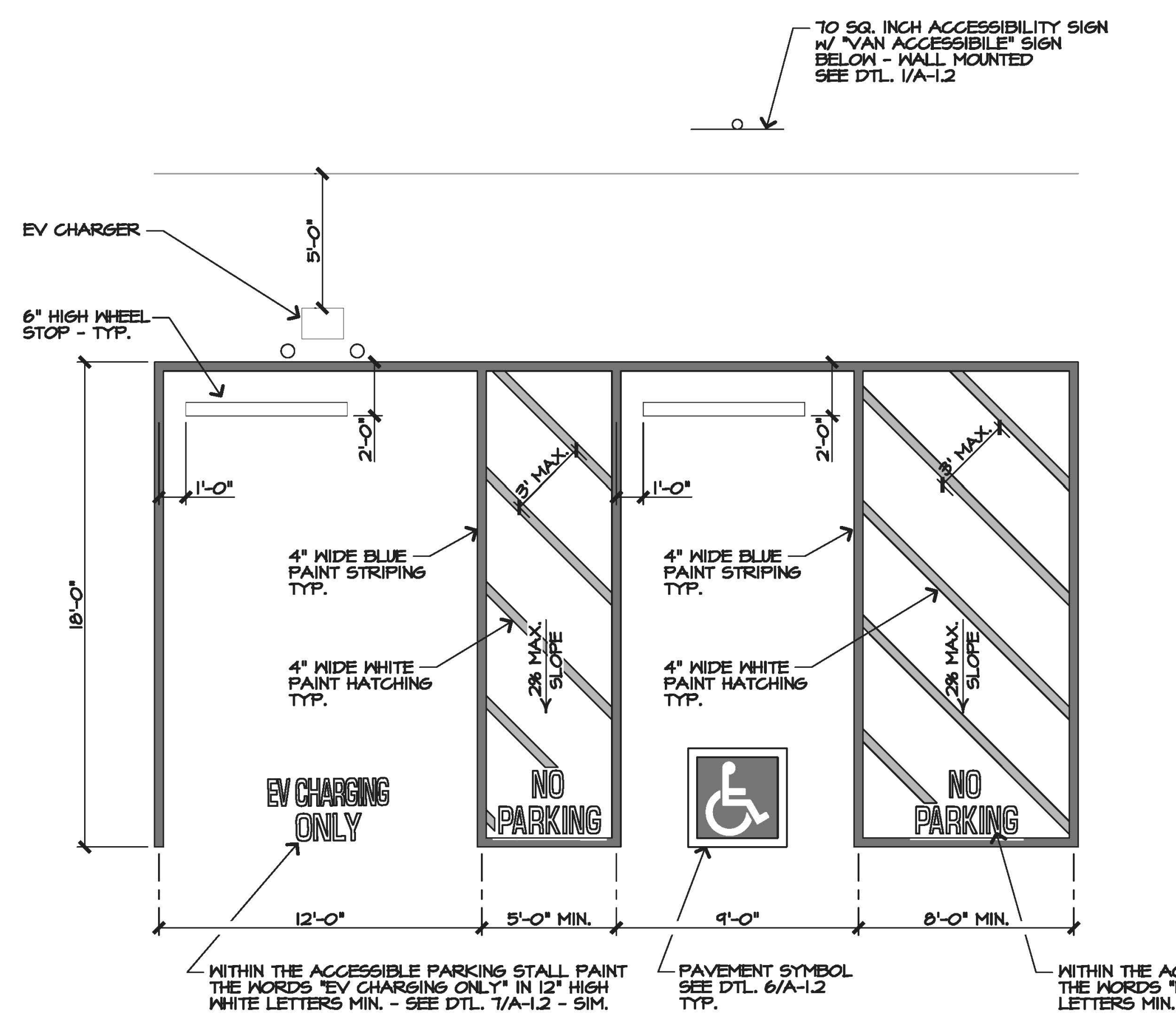
6 PAVEMENT SYMBOL
 SCALE = 3/4\"/>



7 DISABLED PARKING UNLOADING AREA PAVEMENT MARKING
 SCALE = 3/4\"/>



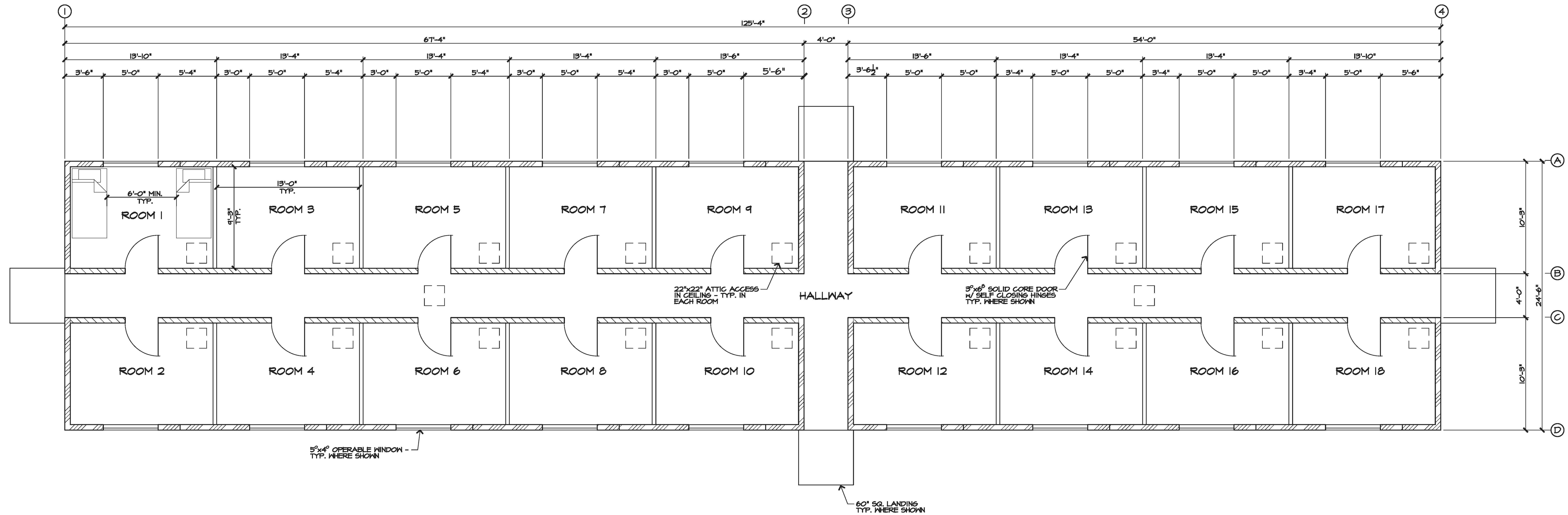
8 PROPOSED ACCESSIBLE PARKING AT FARM LABOR HOUSING
 SCALE: 1/4\"/>



4 RESTRIPE PARKING AT OFFICE
 SCALE: 1/4\"/>

No.	Issue/Revision	Date

Date	09/16/24
Scale	AS NOTED
Dr. By	N. MOHAMMED
Job No.	2022.055
Dwg. No.	220555FPD
Sheet	A-1.2
Revision No.	



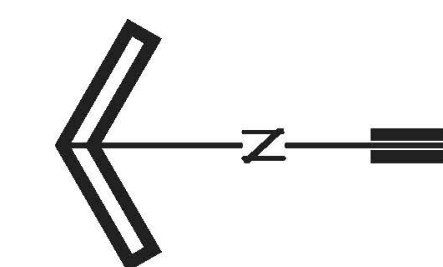
LEGEND: (THIS LEGEND APPLIES TO THIS SHEET ONLY)

2x6 WOOD STUDS AT 16" o.c. w/ 3/4" TYPE 'X' GYP. BD. INSIDE AND 3 COAT STUCCO OVER 1/2" AFA RATED 24/16 SHEATHING OUTSIDE w/ R-19 BATT INSULATION

2x6 WOOD STUDS AT 24" o.c. w/ 3/4" TYPE 'X' GYP. BD. INSIDE AND 3 COAT STUCCO OUTSIDE w/ R-19 BATT INSULATION

2x4 WOOD STUDS AT 24" o.c. w/ 3/4" TYPE 'X' GYP. BD. AT ONE SIDE AND 3/4" TYPE 'X' w/ RESILIENT CHANNELS OTHER SIDE w/ R-11 BATT INSULATION

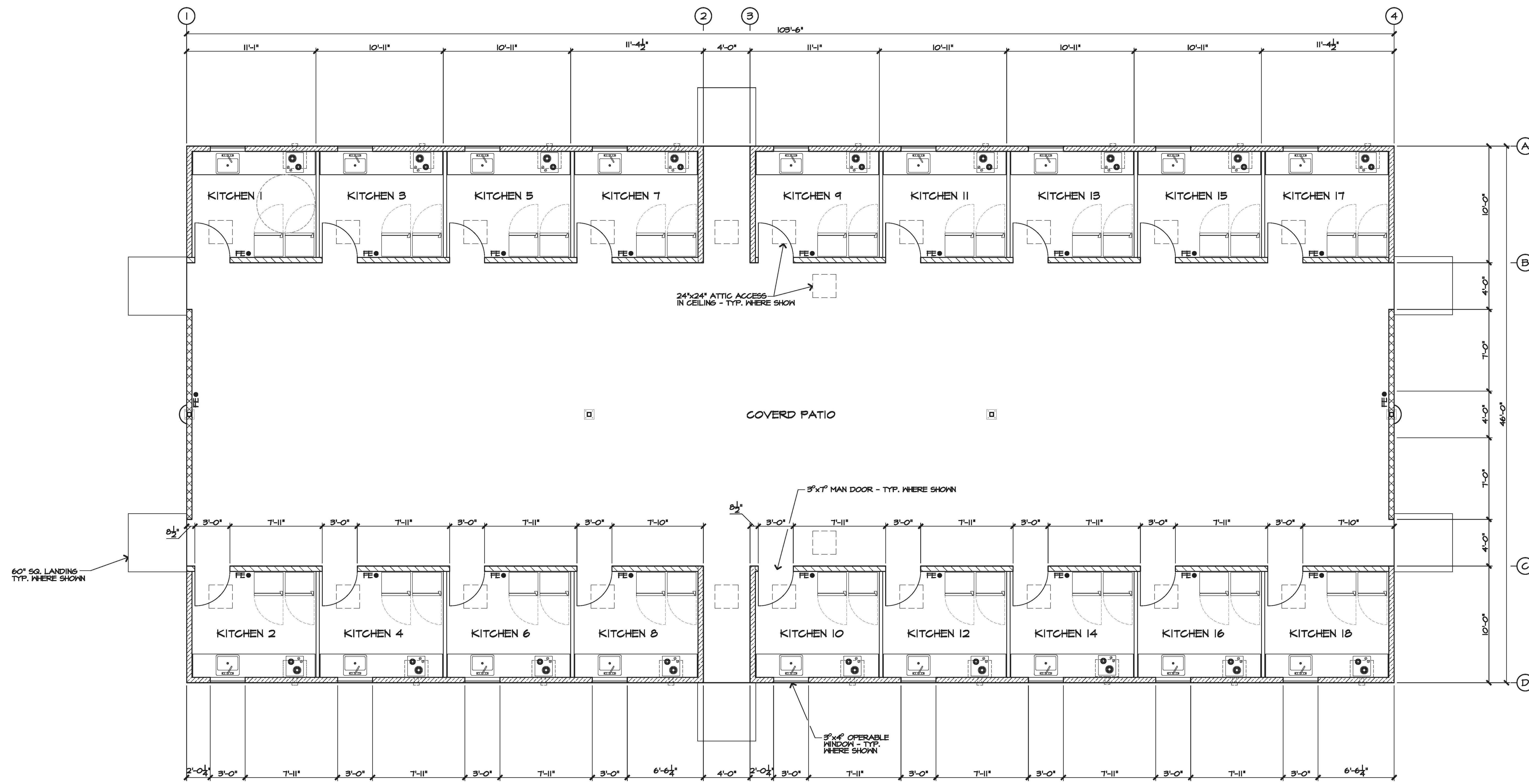
WALL NOTE:
ALL WALLS ARE AREA SEPARATION WALLS AND EXTEND TO BOTTOM OF ROOF SHEATHING



BUILDING COORDINATION PLAN
DORMITORY

No.	Issue/Revision	Date

Date	03/18/24
Scale	1/4" = 1'-0"
Dr. By	JER-AM-1
Job No.	2022.055
Dwg. No.	22055BCP
Sheet	A-2
Revision No.	



LEGEND: (THIS LEGEND APPLIES TO THIS SHEET ONLY)

2x6 WOOD STUDS AT 16" o.c. w/ 3/4" TYPE 'X' GYP. BD. INSIDE AND 3 COAT STUCCO o/ SHEATHING OUTSIDE w/ R-14 BATT INSULATION. DOUBLE TOP PLATE AT 8'-0"

2x6 WOOD STUDS AT 16" o.c. w/ 3/4" TYPE 'X' GYP. BD. INSIDE AND 3 COAT STUCCO OUTSIDE w/ R-14 BATT INSULATION. DOUBLE TOP PLATE AT 11'-0"

2x6 WOOD STUDS AT 16" o.c. w/ 3 COAT STUCCO o/ SHEATHING BOTH SIDES OF WALL w/ R-14 BATT INSULATION. DOUBLE TOP PLATE AT 11'-0"

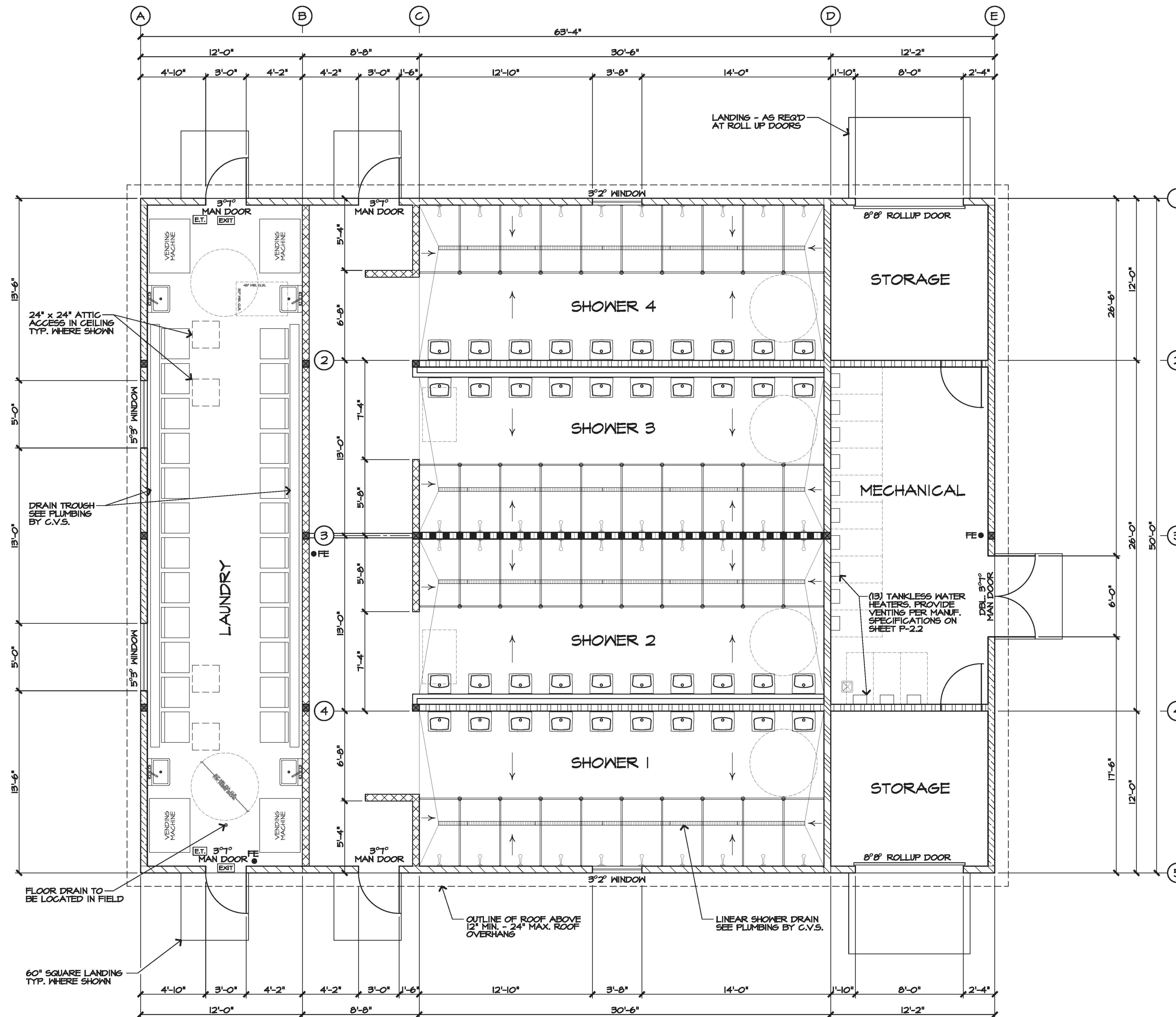
2x4 WOOD STUDS AT 16" o.c. w/ 3/4" TYPE 'X' GYP. BD. AT ONE SIDE AND 3/4" TYPE 'X' o/ RESILIENT CHANNELS OTHER SIDE w/ R-11 BATT INSULATION

FE ● INDICATES 2A-10B,C FIRE EXTINGUISHER MINIMUM PER NFPA 10 - TYPICAL WHERE SHOWN

BUILDING COORDINATION PLAN
 KITCHEN

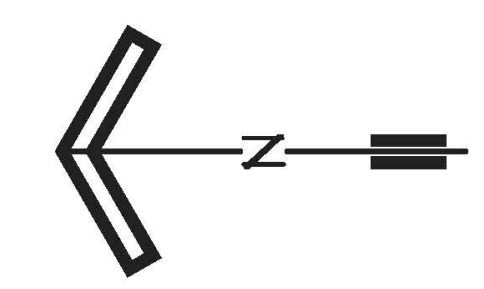
No.	Issue/Revision	Date

Date	03/18/24
Scale	1/4" = 1'-0"
Dr. By	JER-AM-1
Job No.	2022.055
Dwg. No.	22055BCP
Sheet	A-2.1
Revision No.	



LEGEND: (THIS LEGEND APPLIES TO THIS SHEET ONLY)

- BALLOON FRAMED 2x6 WOOD STUDS AT 16" o.c. AND 12" o.c. WHEN HEIGHT EXCEEDS 15'-0" w/ 3/8" GYP. BD. INSIDE AND 3-COAT STUCCO o/ SHEATHING OUTSIDE w/ R-19 BATT INSULATION.
- 2x6 WOOD STUDS AT 16" o.c. w/ 3/8" GYP. BD. INSIDE AND 3-COAT STUCCO OUTSIDE w/ R-19 BATT INSULATION. DOUBLE TOP FLATE AT 10'-0".
- 2x6 WOOD STUDS AT 16" o.c. w/ 3/8" TYPE 'X' GYP. BD. EACH SIDE TO UNDERSIDE OF ROOF w/ R-19 BATT INSULATION 1-HOUR AREA SEPARATION WALL.
- 2x6 WOOD STUDS AT 16" o.c. TO UNDERSIDE OF CEILING JOISTS w/ 3/8" GYP. BD. o/ PLYWOOD AS REQ'D. SEE NOTE 2/A-2.
- 2x6 WOOD STUDS AT 16" o.c. TO UNDERSIDE OF ROOF w/ 3/8" GYP. BD. o/ PLYWOOD AS REQ'D AT ROOM SIDE.
- 2x6 WOOD STUDS AT 12" o.c. TO UNDERSIDE OF RIDGE BOARD PLYWOOD SHEATH ONE SIDE FULL HT. OF WALL w/ 3/8" OR 1/2" APA RATED SHEATHING w/ 8d COMMON AT 6" o.c. EDGES, 12" o.c. FIELD. 3/8" GYP. BD. EACH SIDE OF WALL.
- 2x4 WOOD STUDS AT 16" o.c. TO UNDERSIDE OF CEILING JOISTS w/ 3/8" GYP. BD. o/ PLYWOOD AS REQ'D AT ROOM SIDE.
- FE ● INDICATES 2A:10B:C FIRE EXTINGUISHER MINIMUM PER NFPA 10 TYPICAL WHERE SHOWN - SEE GENERAL FLOOR PLAN NOTE 13/A-2
- EXIT INDICATES ILLUMINATED EXIT SIGN
- ETI INDICATES TACTILE EXIT SIGN



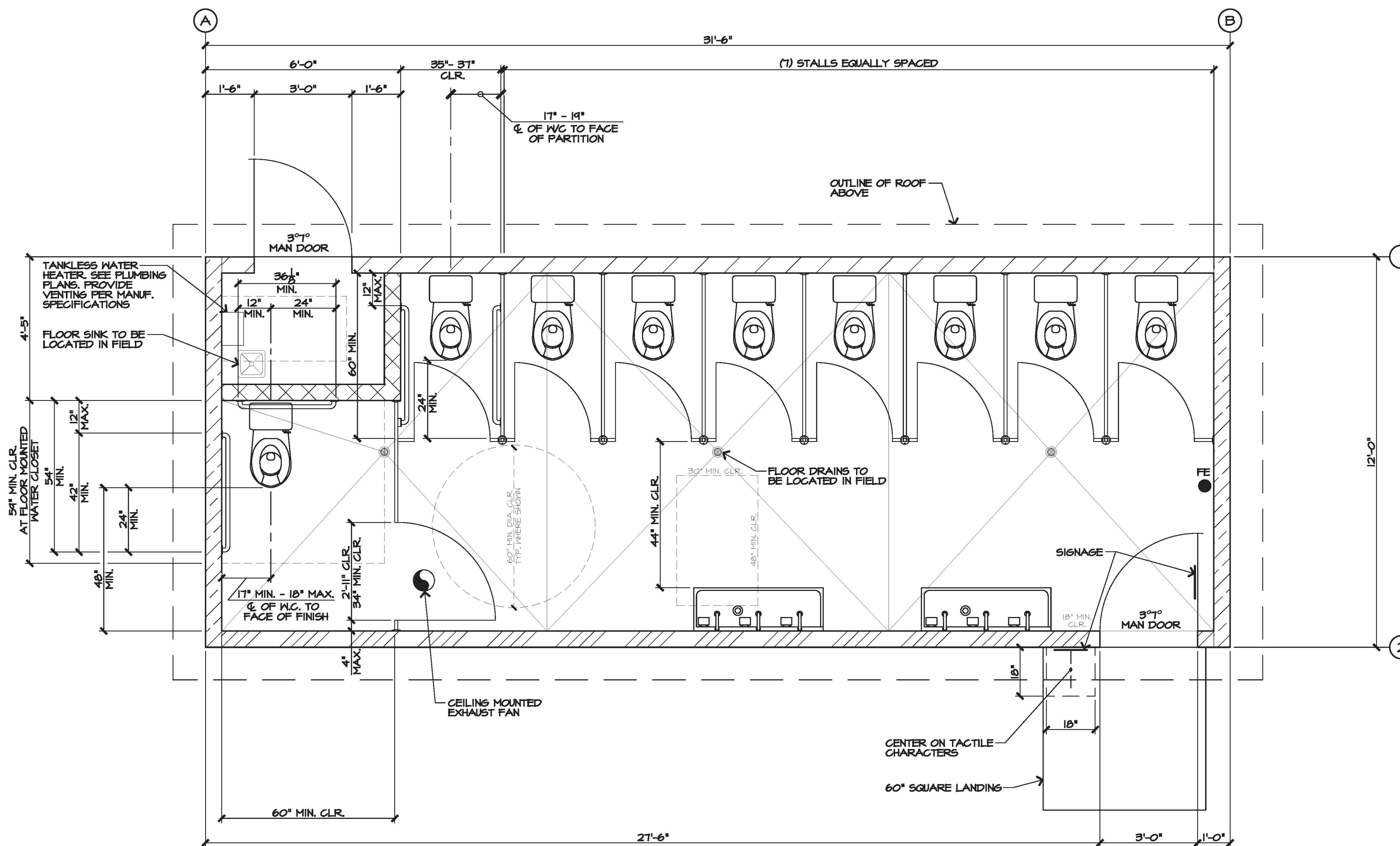
BUILDING COORDINATION PLAN

No.	Issue/Revision	Date

Date	03/18/24
Scale	1/4" = 1'-0"
Dr. By	JER-AM-1
Job No.	2022.055
Dwg. No.	22055BCP
Sheet	A-2.2
Revision No.	

No.	Issue/Revision	Date

Date	03/18/24
Scale	1/2" = 1'-0"
Dr. By	JER-AM-1
Job No.	2022.055
Dwg. No.	22055BCP
Sheet	A-2.3
Revision No.	

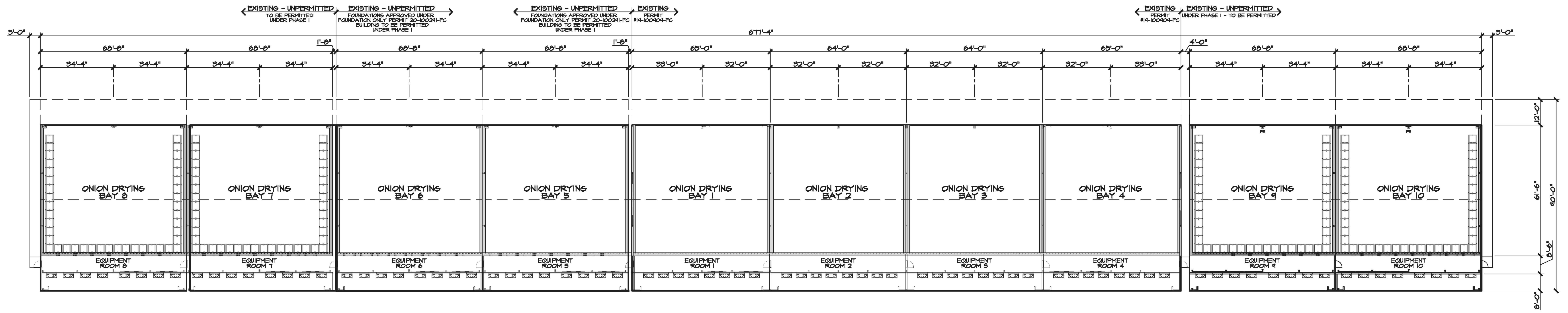


- LEGEND:** (THIS LEGEND APPLIES TO THIS SHEET ONLY)
- 5/4" WIDE x 5/4" TALL CONC. CURB W/ BALLOON FRAMED 2x6 WOOD STUDS AT 16" o.c. W/ 3/8" GYP. BD. INSIDE AND 3-COAT STUCCO or SHEATHING OUTSIDE. R-19 BATT INSULATION. DOUBLE TOP PLATE AT 10'-0".
 - 5/4" WIDE x 5/4" TALL CONC. CURB W/ 2x6 WOOD STUDS AT 16" o.c. W/ 3/8" GYP. BD. INSIDE AND 3-COAT STUCCO OUTSIDE. R-19 BATT INSULATION. DOUBLE TOP PLATE AT 10'-0".
 - 5/4" WIDE x 5/4" TALL CONC. CURB W/ 2x6 WOOD STUDS AT 16" o.c. W/ 3/8" GYP. BD. INSIDE AND 3-COAT STUCCO OUTSIDE. R-19 BATT INSULATION. DOUBLE TOP PLATE AT 10'-0".
 - 2x6 WOOD STUDS AT 16" o.c. TO UNDERSIDE OF CEILING JOISTS W/ 3/8" GYP. BD. or PLYWOOD AS REQ'D.
 - FE ● — INDICATES 2A.10B.C FIRE EXTINGUISHER MINIMUM PER NFPA 10 TYPICAL WHERE SHOWN.

BUILDING COORDINATION PLAN
 RESTROOM

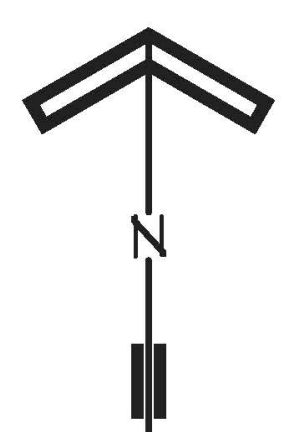
No.	Issue/Revision	Date

Date	03/18/24
Scale	1"=20'-0"
Dr. By	S. ODOM
Job No.	2022.055
Dwg. No.	22055BCP
Sheet	A-2.4
Revision No.	

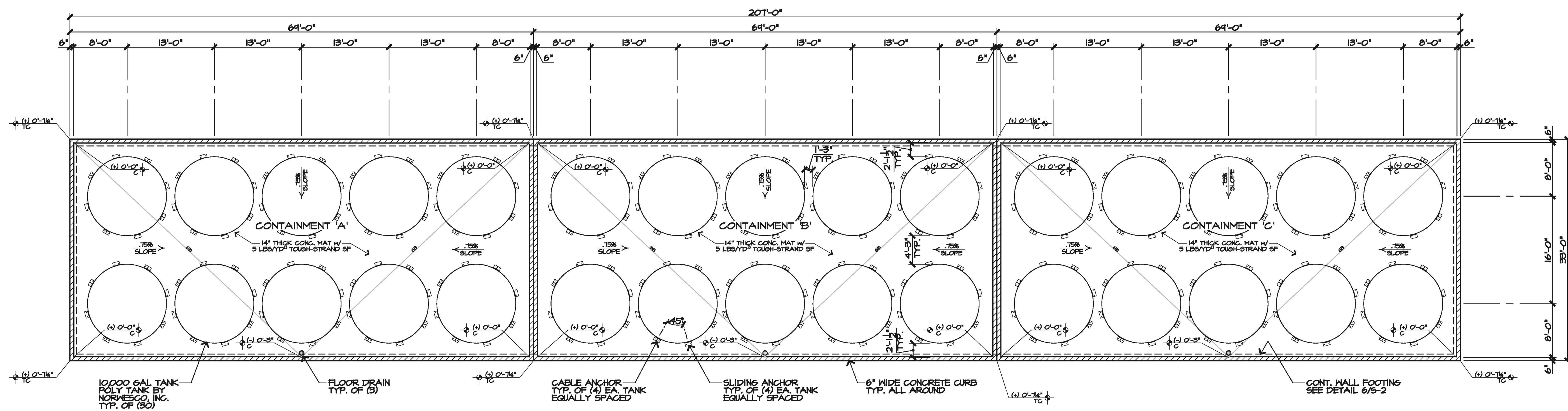


LEGEND: (THIS LEGEND APPLIES TO THIS SHEET ONLY)

- EXISTING METAL BUILDING WALL
- EXISTING WALL
- NEW METAL BUILDING WALL
- NEW WALL



BUILDING COORDINATION PLAN
 ONION DRYING



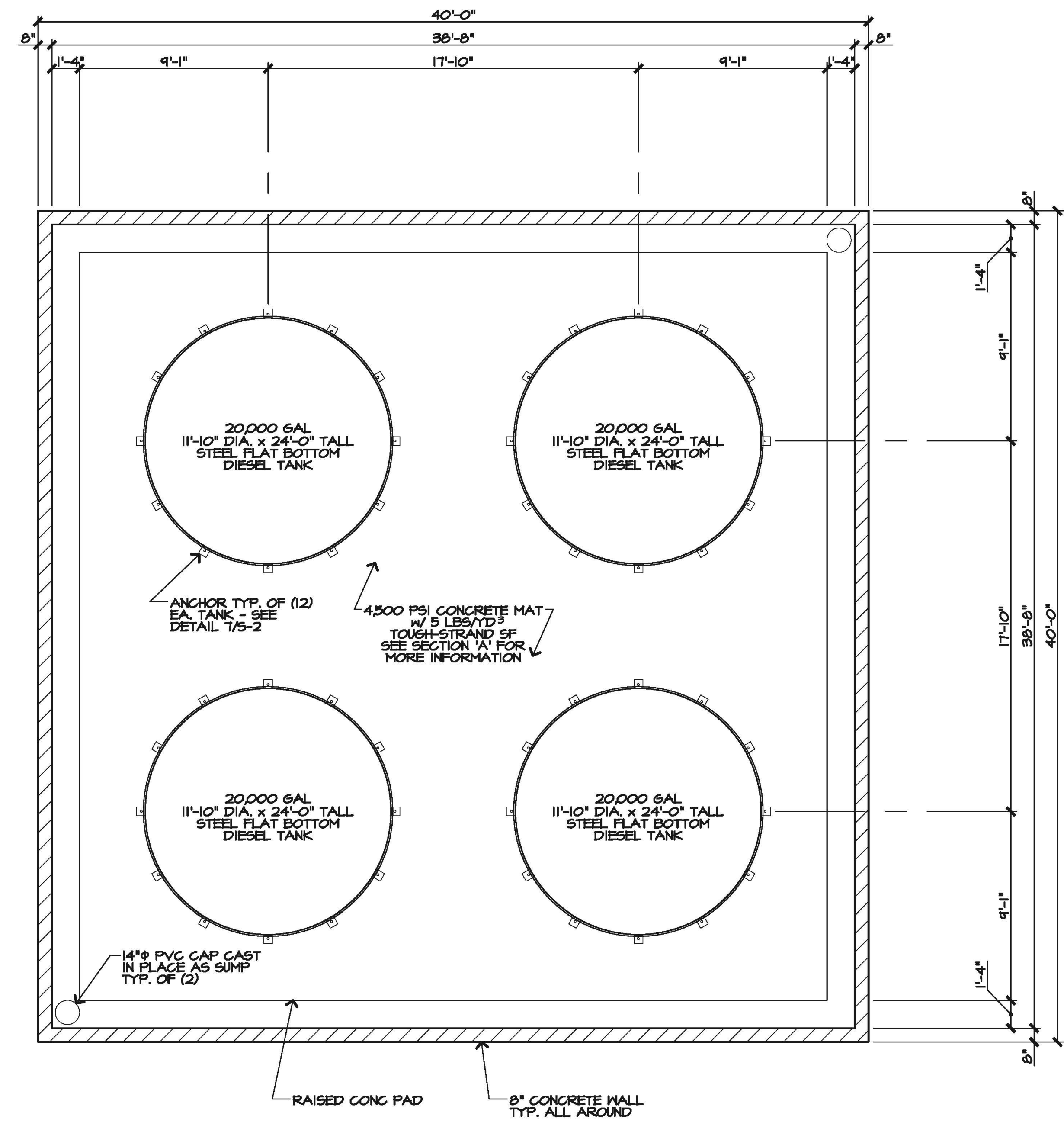
LEGEND :

- 6" WIDE CONG. CONTAINMENT CURB
- GRADE BREAK
- C— TOP OF CONCRETE
- TC— TOP OF CURB

CONTAINMENT CALCULATIONS:

Tank Containment "A", "B" and "C"			
Containment Based on largest vessel	68.83	31.83	2,190.86 Ft ²
plus 24 hr/25 year storm per CFC 5004.2.2.4			
Tanks			
Diameter	10.00		78.54 Ft ²
# of Tanks (total minus 1)	9.00		706.86 Ft ²
Free Area			1,484.00 Ft ³
Containment Required	1.00	10,000.00	10,000.00 Total Gallons
			1,336.90 Total Ft ³
		1.00	1,336.90 Ft ³
Depth Required		0.90	0.90 Ft
25yr/24hr rainfall (per NOAA)		10.81	10.81 inches
Average Depth of Slope		2.05	2.05 inches
Required Curb Height			12.86 inches
Provided Curb Height			13.00 inches

FERTILIZER TANK CONTAINMENT PLAN



CONTAINMENT CALCULATIONS:

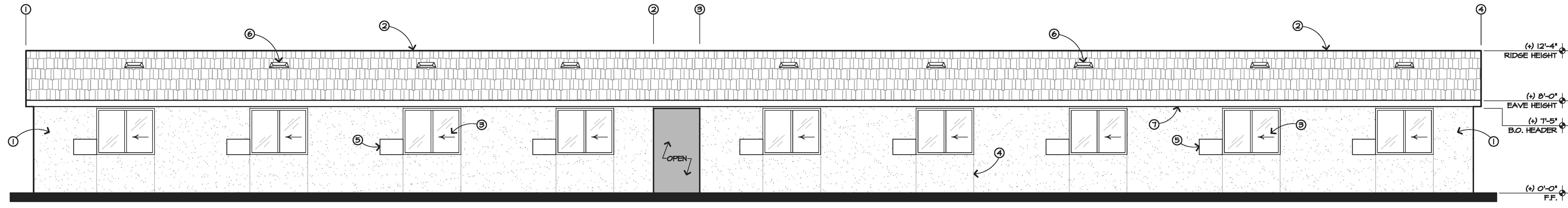
Diesel Tank Containment			
Containment Based on largest vessel	38.33	38.33	1,469.19 Ft ²
plus 24 hr/25 year storm per CFC 5004.2.2.4			
Tanks			
Diameter	12.00		113.10 Ft ²
# of Tanks (total minus 1)	3.00		339.29 Ft ²
Free Area			1,129.90 Ft ³
Containment Required	1.00	20,000.00	20,000.00 Total Gallons
			2,673.80 Total Ft ³
Depth Required (Feet)		2.37	2.37 Ft
Depth Required (Inches)		28.40	28.40 inches
25yr/24hr rainfall		2.05	2.05 inches
Required Curb Height			30.45 inches
Provided Curb Height			32 inches

DIESEL TANK CONTAINMENT PLAN

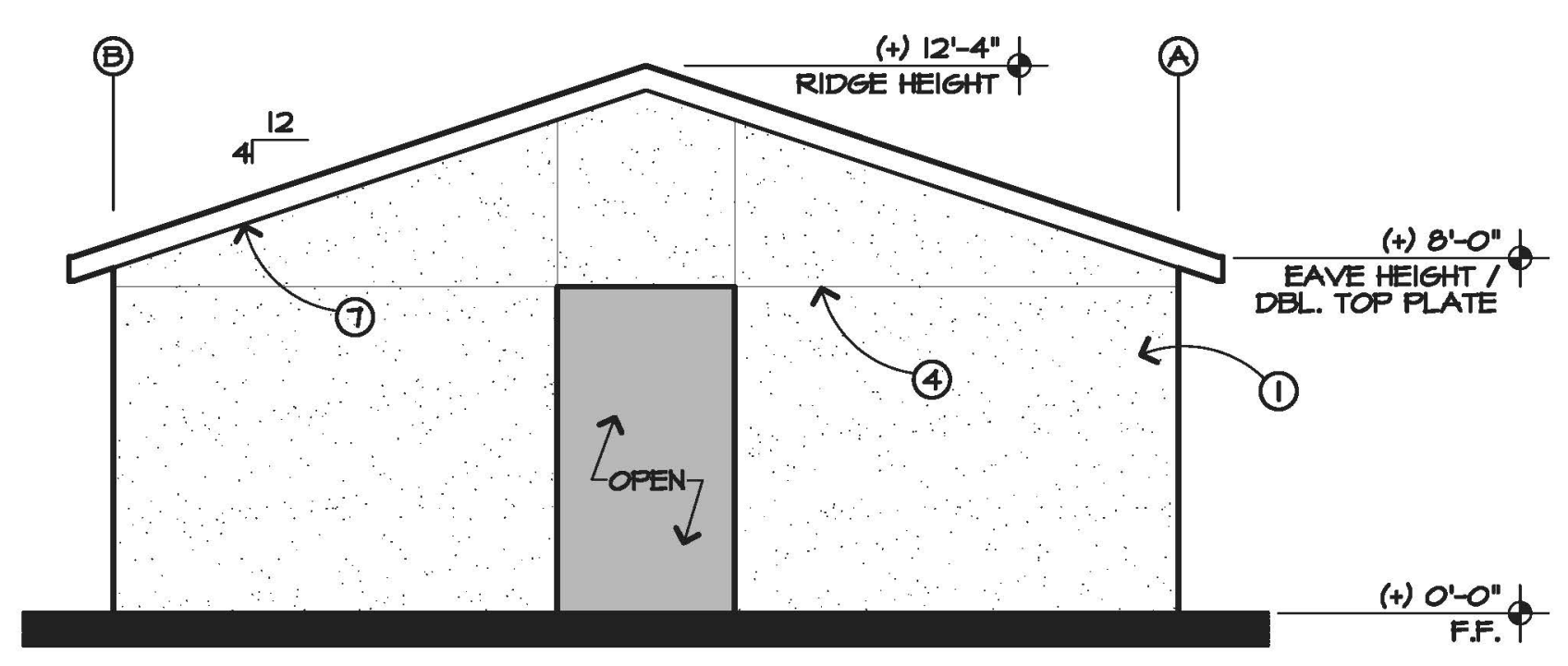
No.	Issue/Revision	Date

No.	Issue/Revision	Date

Date	03/18/24
Scale	1/4" = 1'-0"
Dr. By	JER-AM-1
Job No.	2022.055
Dwg. No.	22055ELV
Sheet	A-3.0
Revision No.	

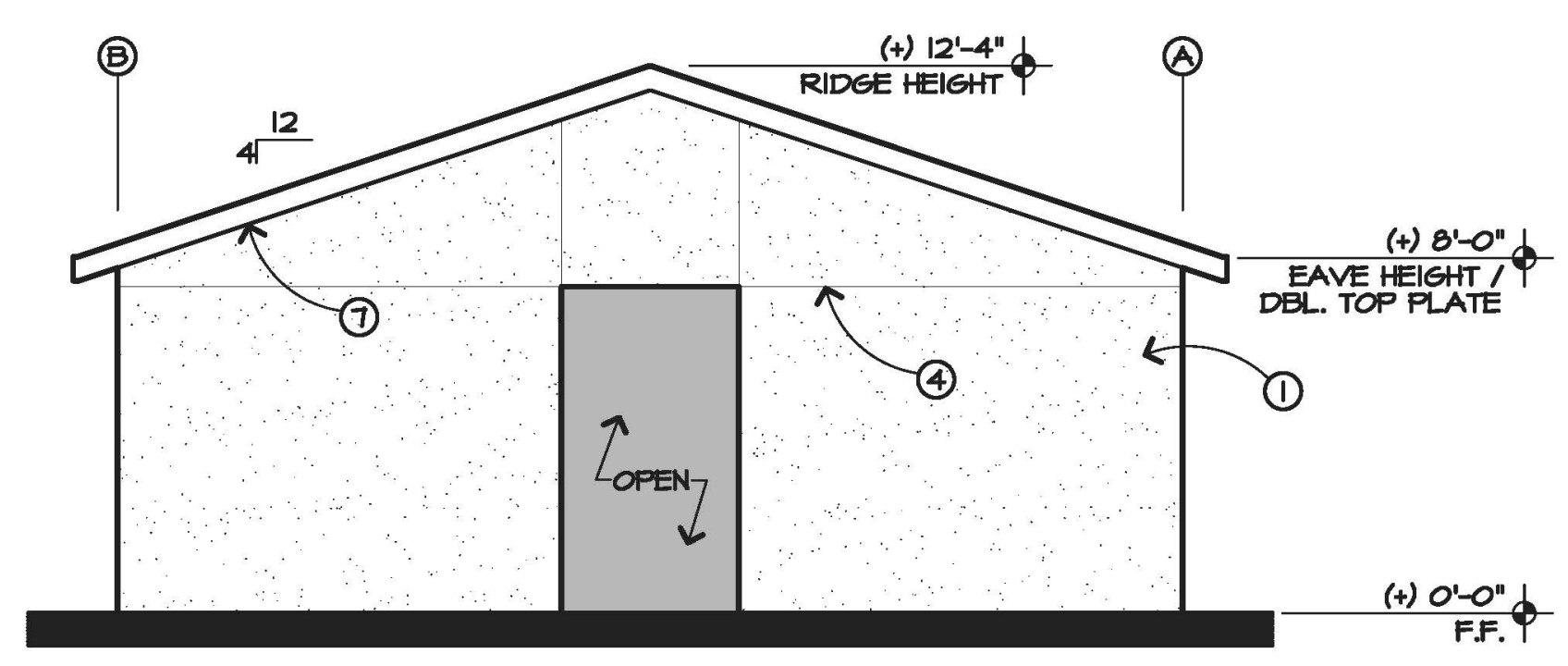


SOUTH ELEVATION

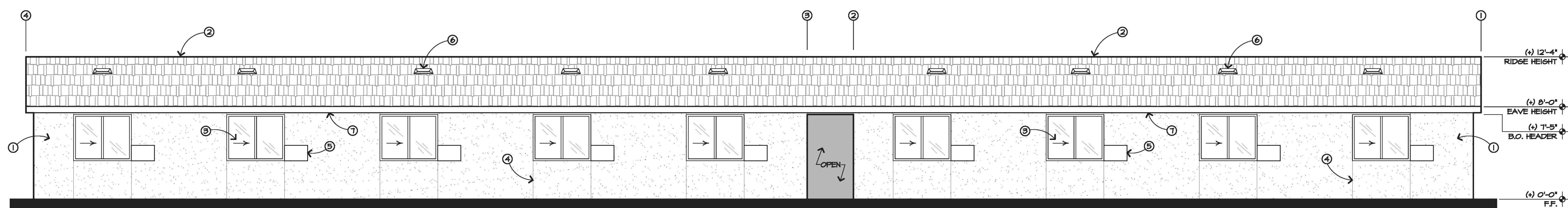


WEST ELEVATION

- EXTERIOR MATERIAL LIST:**
 (MATERIAL LIST APPLIES TO THIS SHEET ONLY)
- | MARK | DESCRIPTION |
|------|--|
| ① | STUCCO EXTERIOR w/ (2) LAYERS OF GRADE D' PAPER (3 COAT) |
| ② | COMPOSITION ROOFING |
| ③ | WINDOW |
| ④ | CONTROL JOINT |
| ⑤ | AC HEAT UNIT |
| ⑥ | ROOF VENT |
| ⑦ | FASCIA |

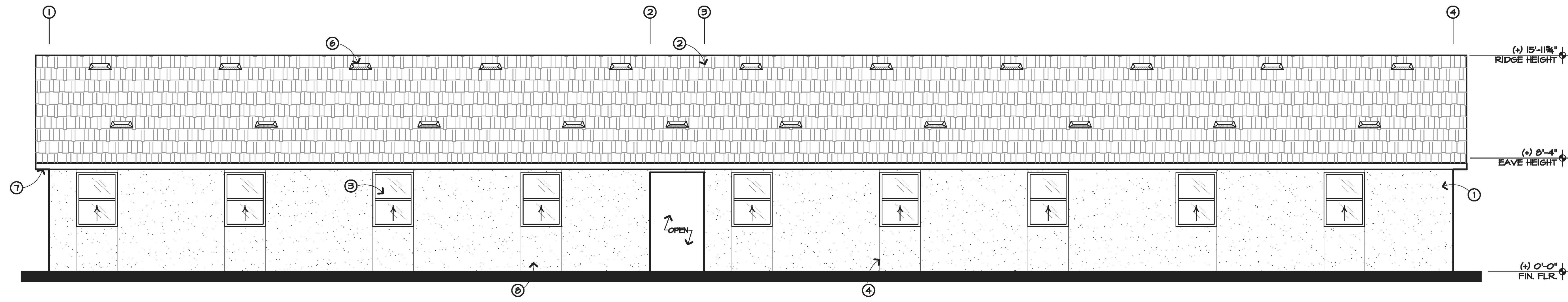


EAST ELEVATION

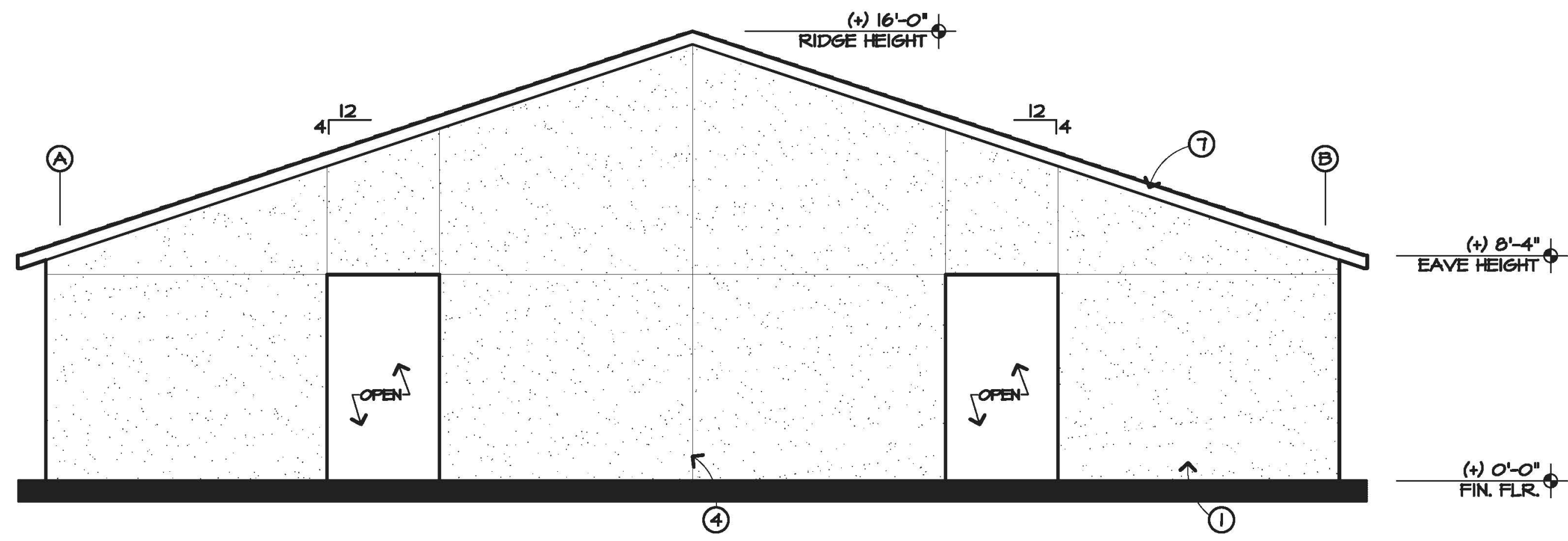


NORTH ELEVATION

EXTERIOR ELEVATIONS
 DORMITORY



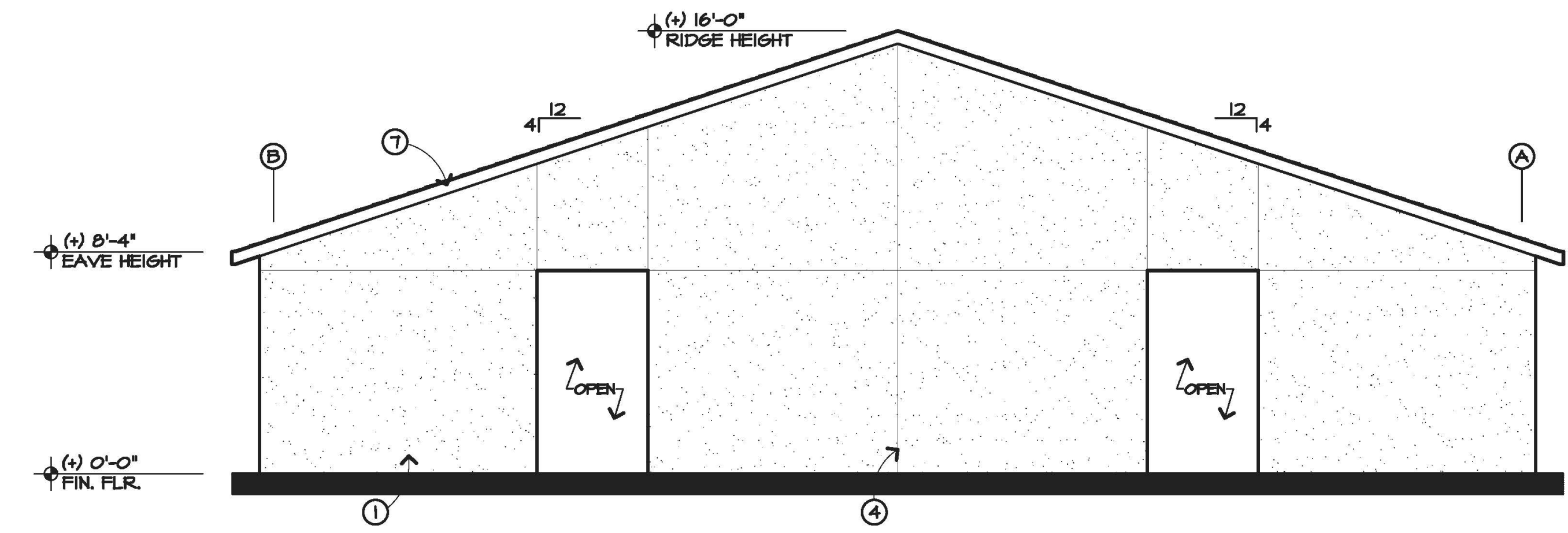
WEST ELEVATION



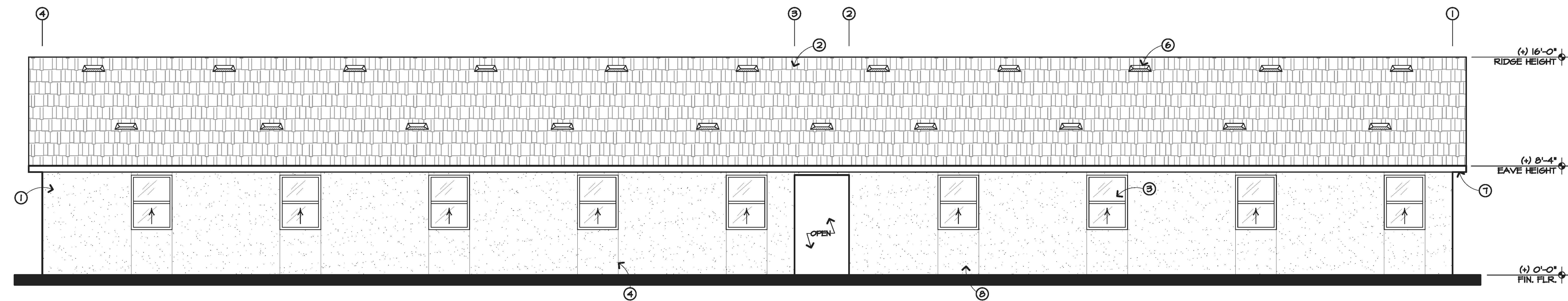
NORTH ELEVATION

EXTERIOR MATERIAL LIST:
(MATERIAL LIST APPLIES TO THIS SHEET ONLY)

- | MARK | DESCRIPTION |
|------|---|
| ① | STUCCO EXTERIOR w/ (2) LAYERS OF GRADE 'D' PAPER (B COAT) |
| ② | COMPOSITION ROOFING |
| ③ | WINDOW |
| ④ | CONTROL JOINT |
| ⑤ | GABLE END VENT |
| ⑥ | ROOF VENT |
| ⑦ | 2x FASCIA |



SOUTH ELEVATION

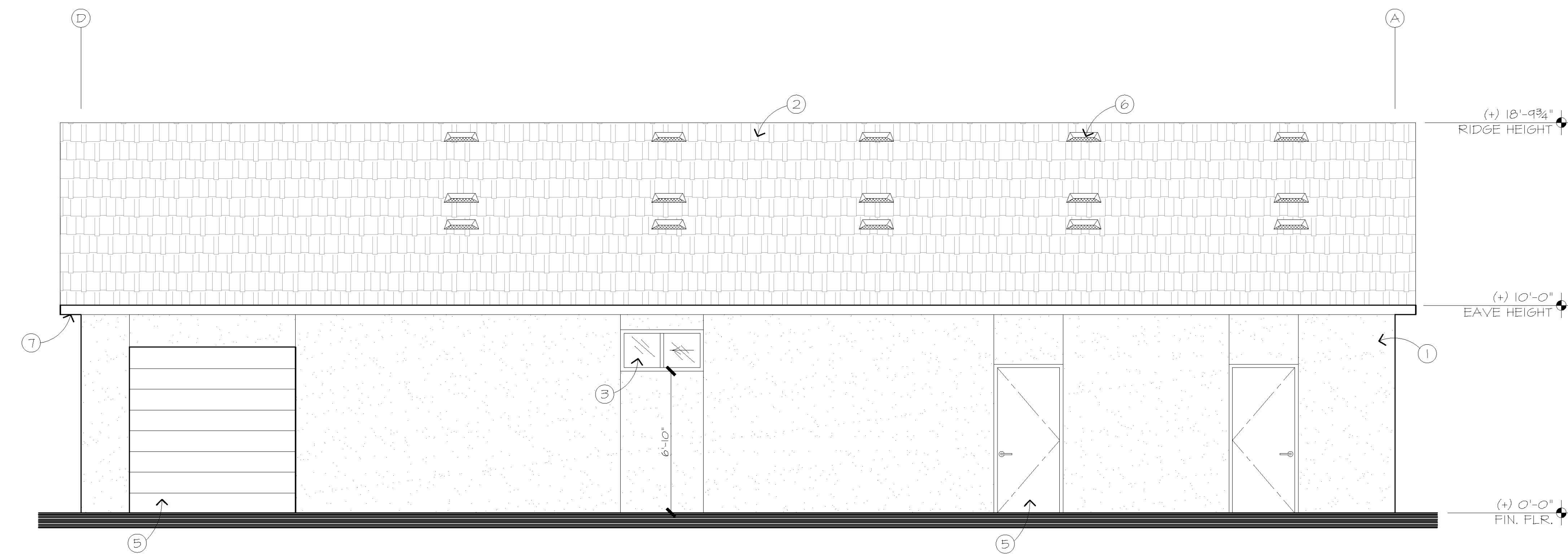


EAST ELEVATION

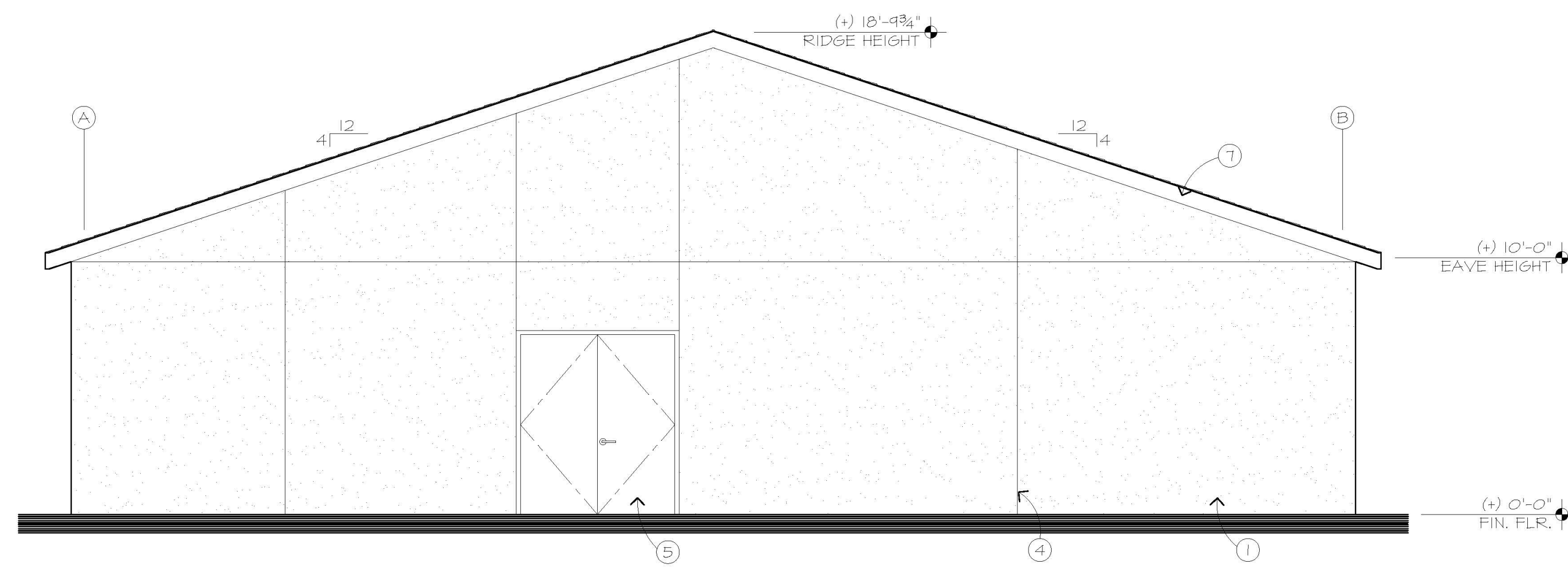
EXTERIOR ELEVATIONS
KITCHEN

No.	Issue/Revision	Date

Date	03/18/24
Scale	1/4" = 1'-0"
Dr. By	JER-AM-1
Job No.	2022.055
Dwg. No.	22055ELV
Sheet	A-3.1
Revision No.	



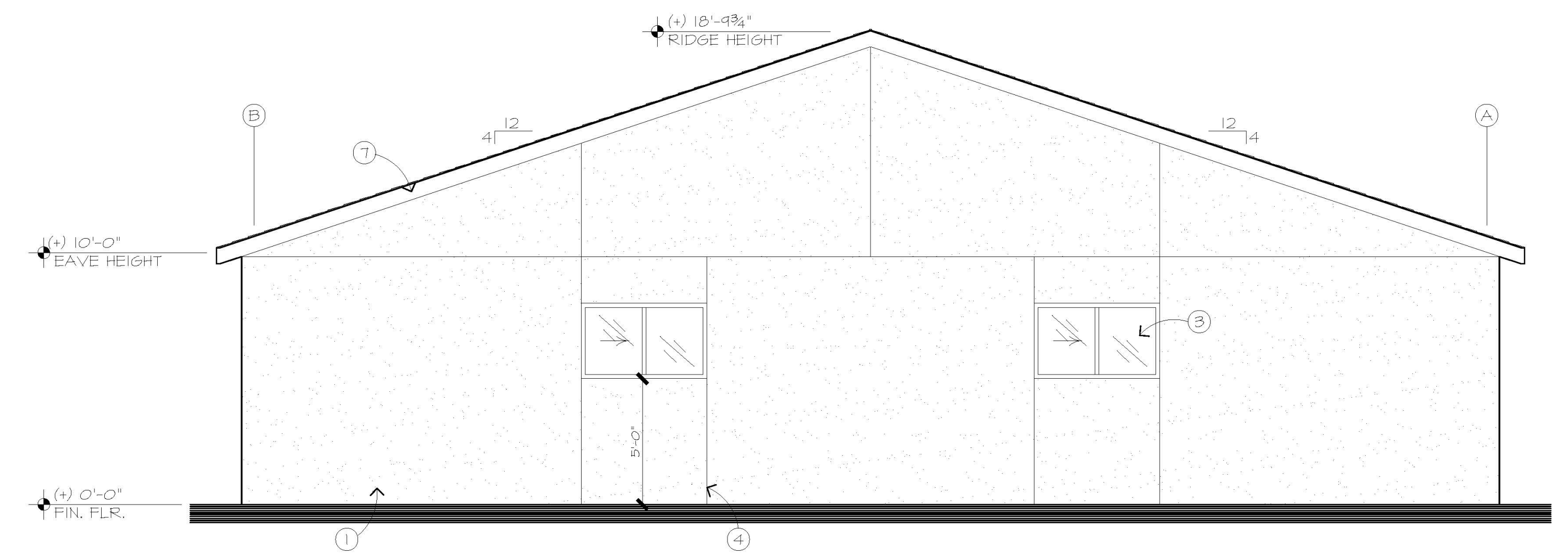
WEST ELEVATION



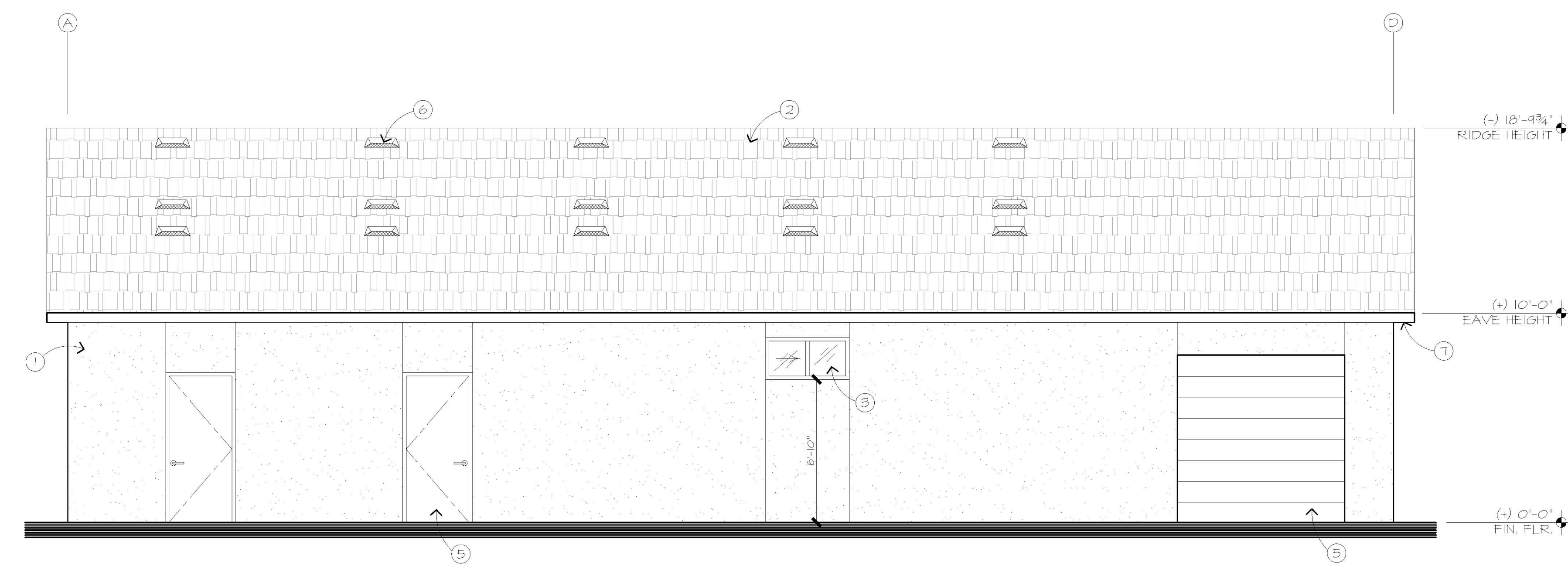
NORTH ELEVATION

EXTERIOR MATERIAL LIST:
(MATERIAL LIST APPLIES TO THIS SHEET ONLY)

- | MARK | DESCRIPTION |
|------|---|
| 1 | STUCCO EXTERIOR w/ (2) LAYERS OF GRADE 'D' PAPER (3 COAT) |
| 2 | COMPOSITION ROOFING |
| 3 | WINDOW |
| 4 | CONTROL JOINT |
| 5 | DOOR |
| 6 | ROOF VENT |
| 7 | 2x FASCIA |



SOUTH ELEVATION



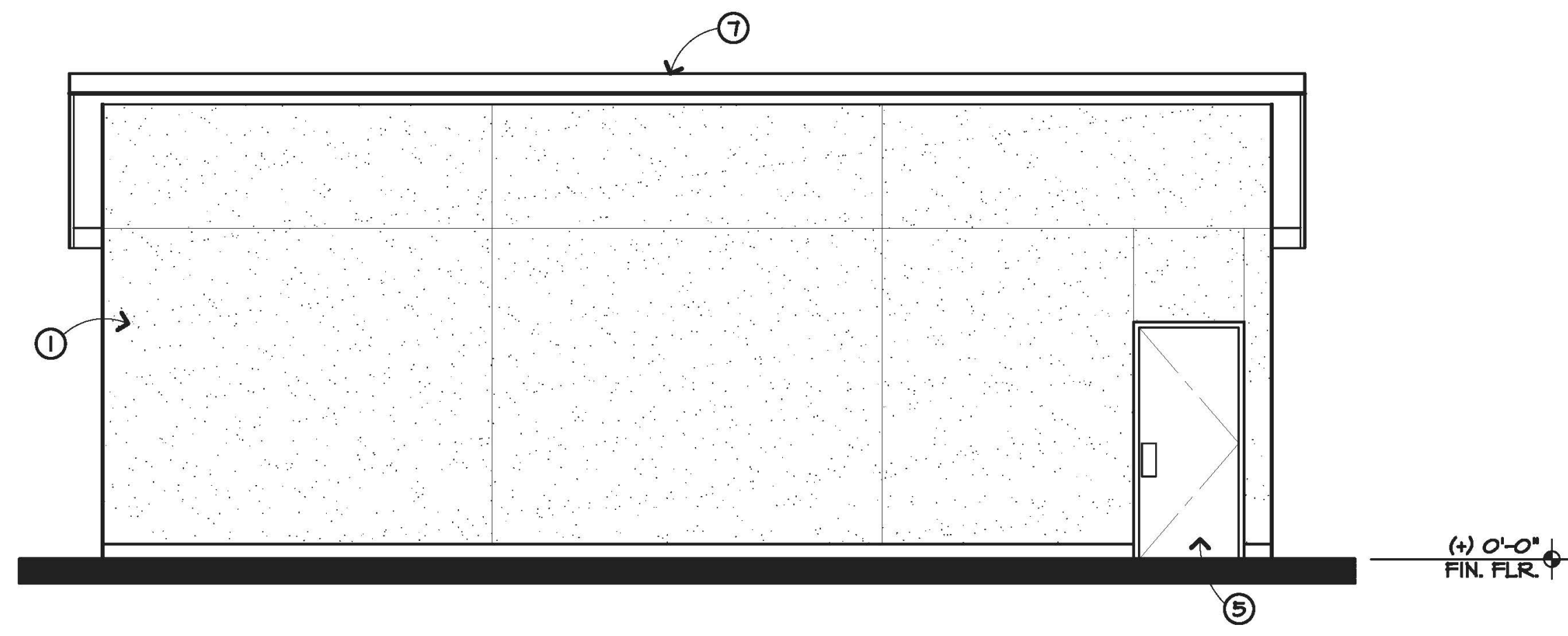
EAST ELEVATION

EXTERIOR ELEVATIONS

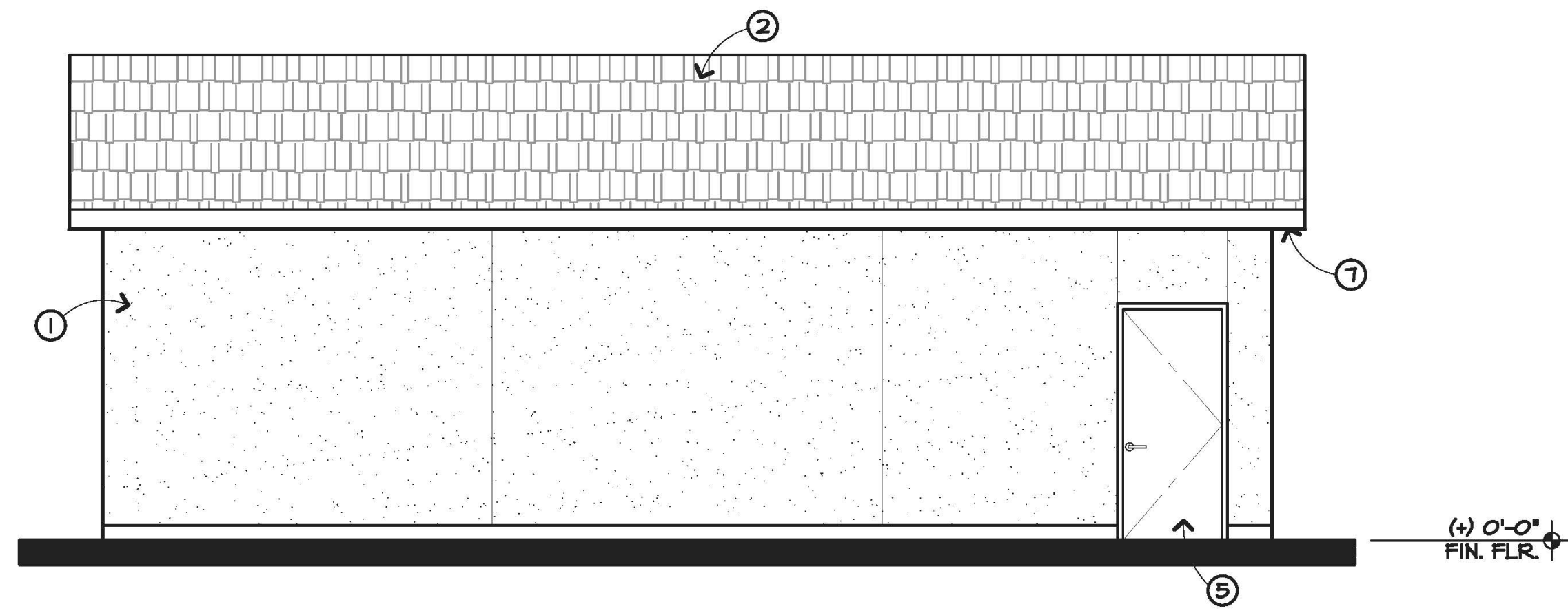
SHOWNER

No.	Issue/Revision	Date

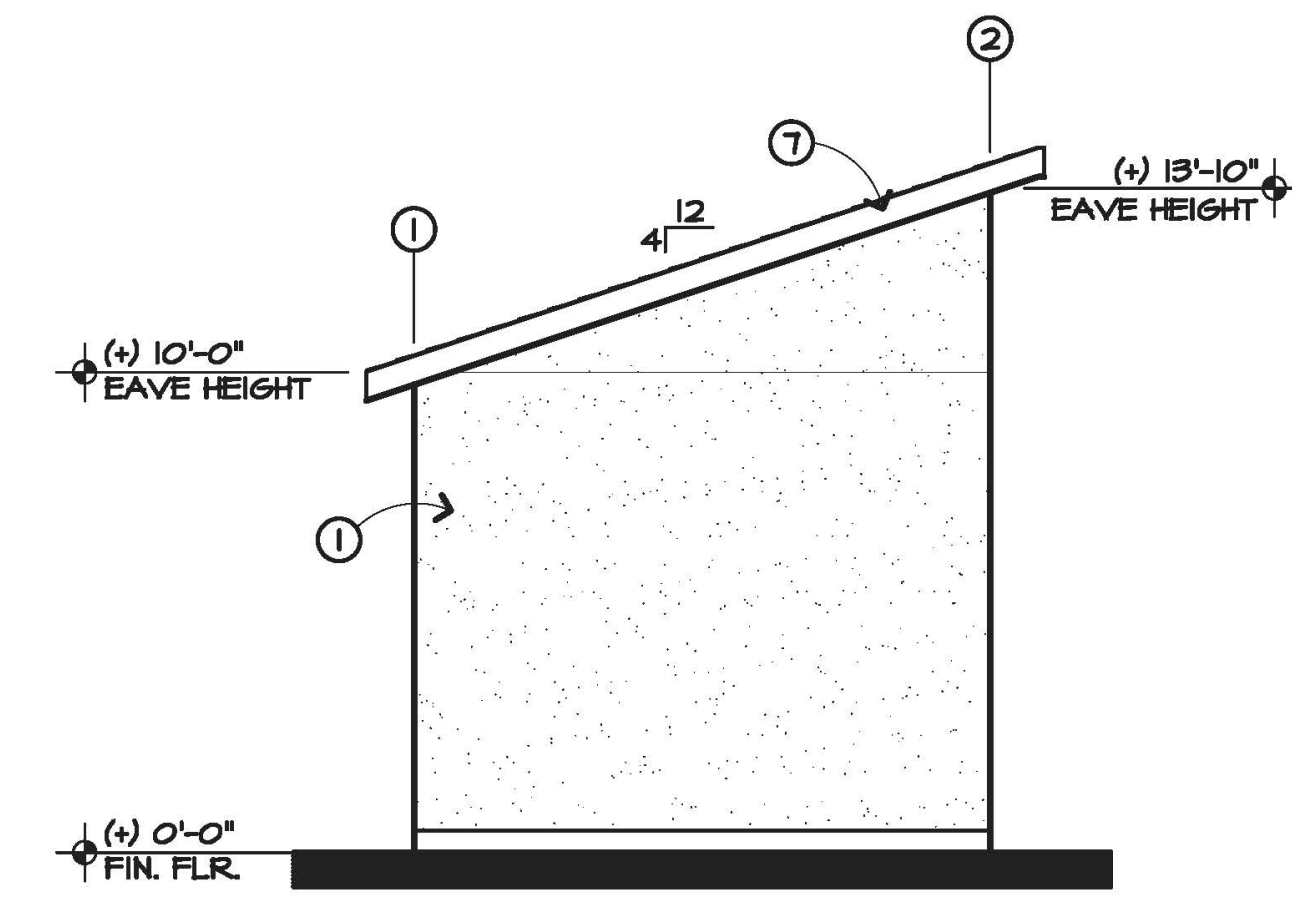
Date	03/18/24
Scale	1/4" = 1'-0"
Dr. By	JER-AM-1
Job No.	2022.055
Dwg. No.	22055ELV
Sheet	A-3.2
Revision No.	



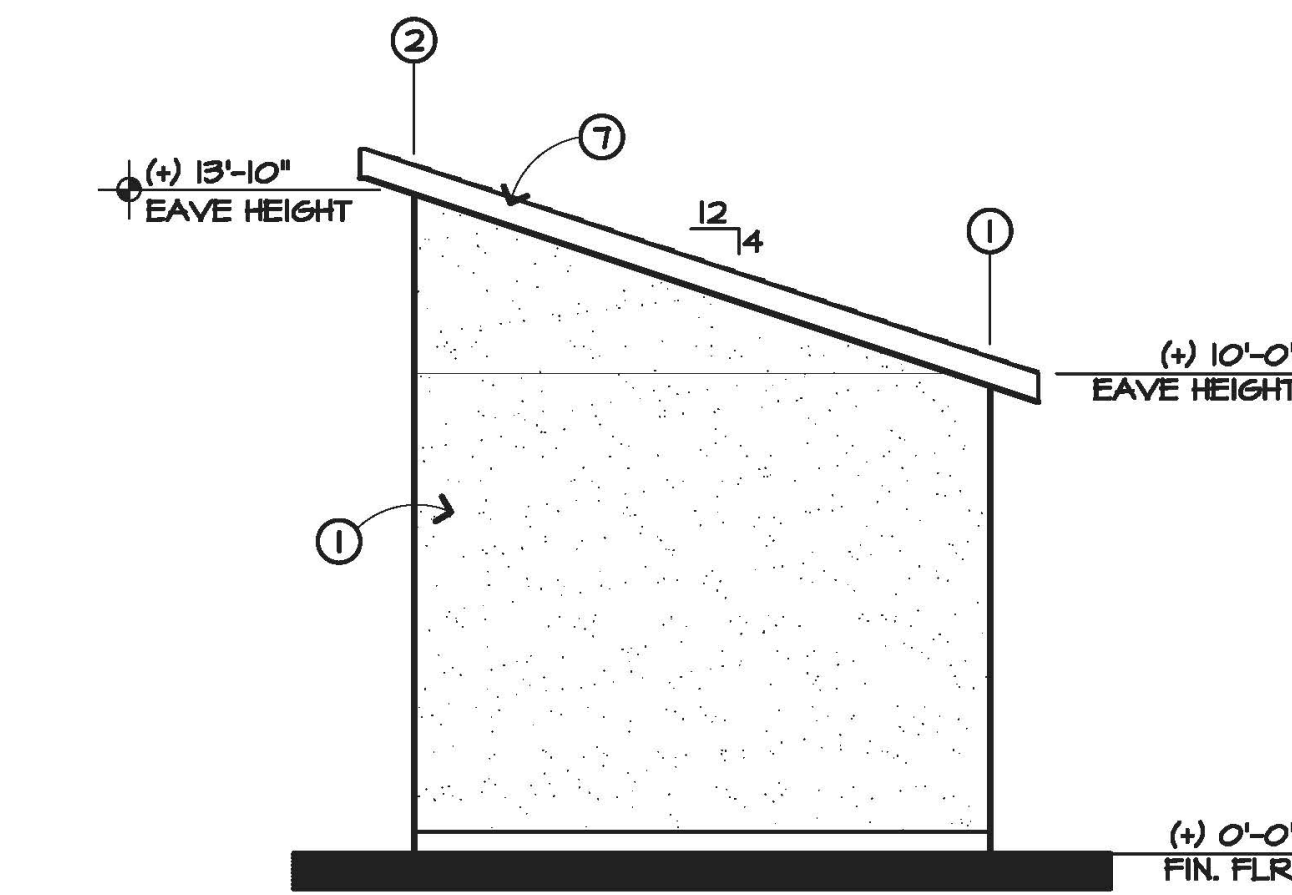
FRONT ELEVATION



BACK ELEVATION



SIDE ELEVATION



SIDE ELEVATION

EXTERIOR MATERIAL LIST:
(MATERIAL LIST APPLIES TO THIS SHEET ONLY)

MARK	DESCRIPTION
①	STUCCO EXTERIOR <i>o/s</i> (2) LAYERS OF GRADE D' PAPER (B COAT)
②	COMPOSITION ROOFING
③	N/A
④	CONTROL JOINT
⑤	DOOR
⑥	ROOF VENT
⑦	2x FASCIA

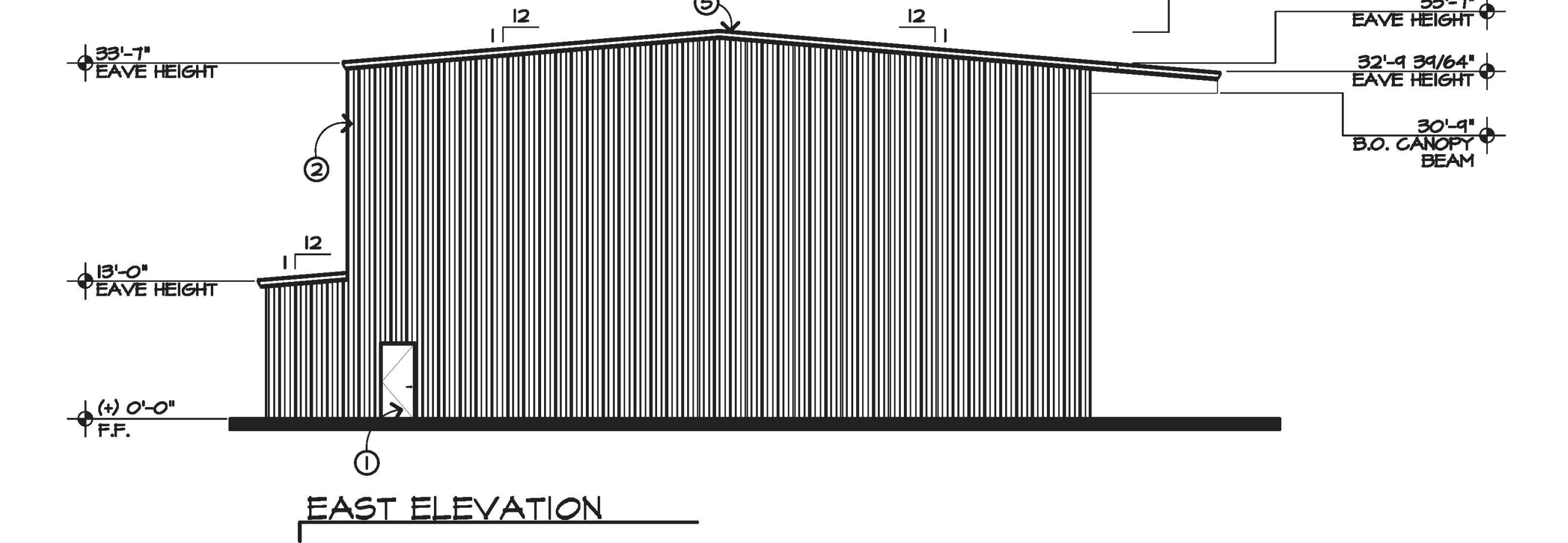
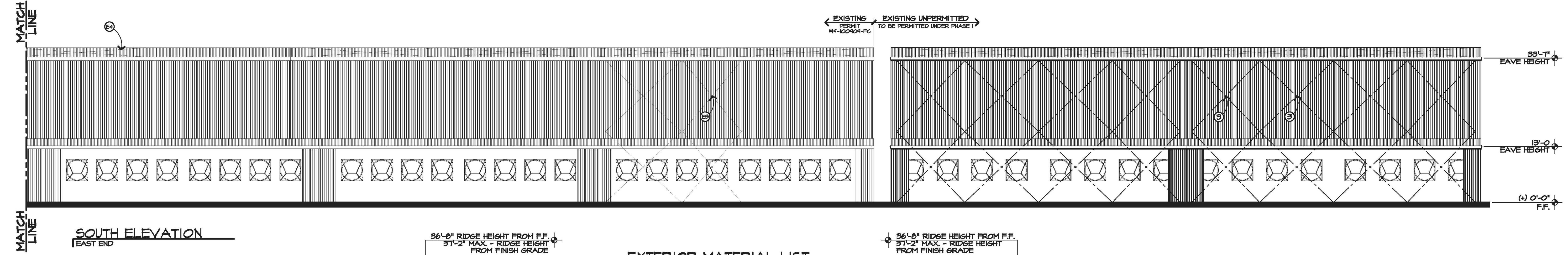
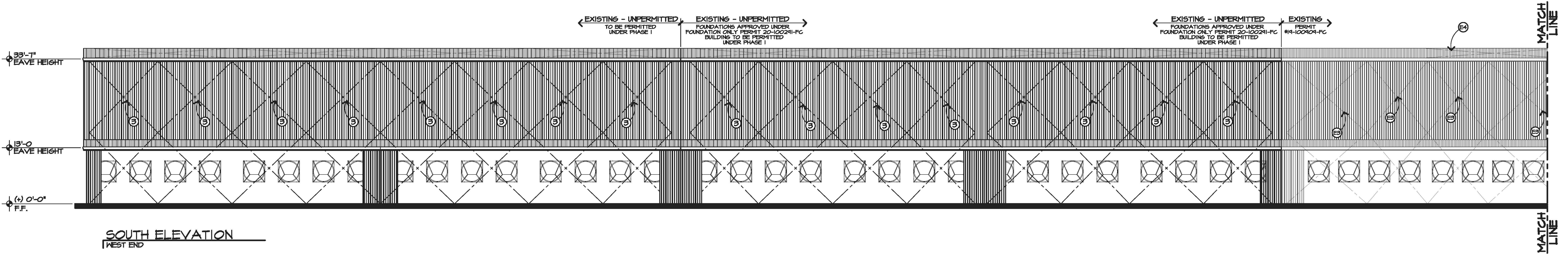
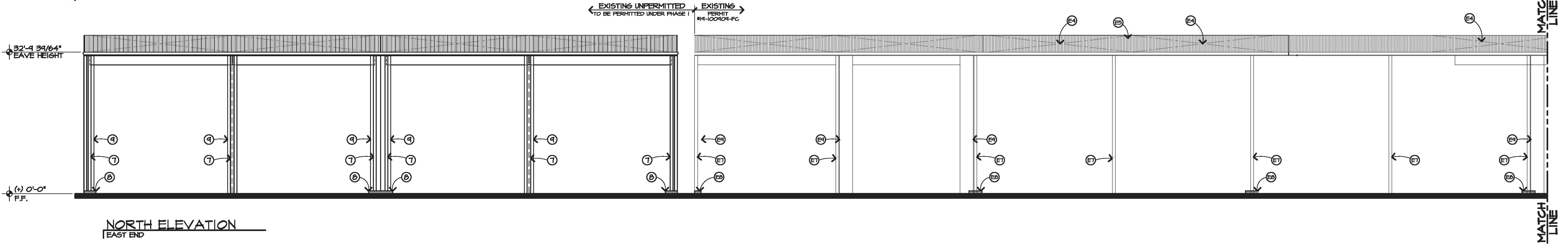
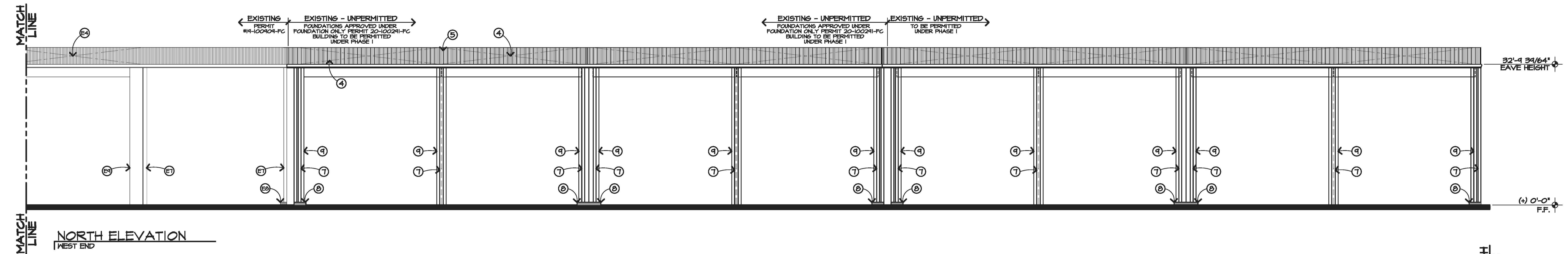
EXTERIOR ELEVATIONS
RESTROOM

No.	Issue/Revision	Date

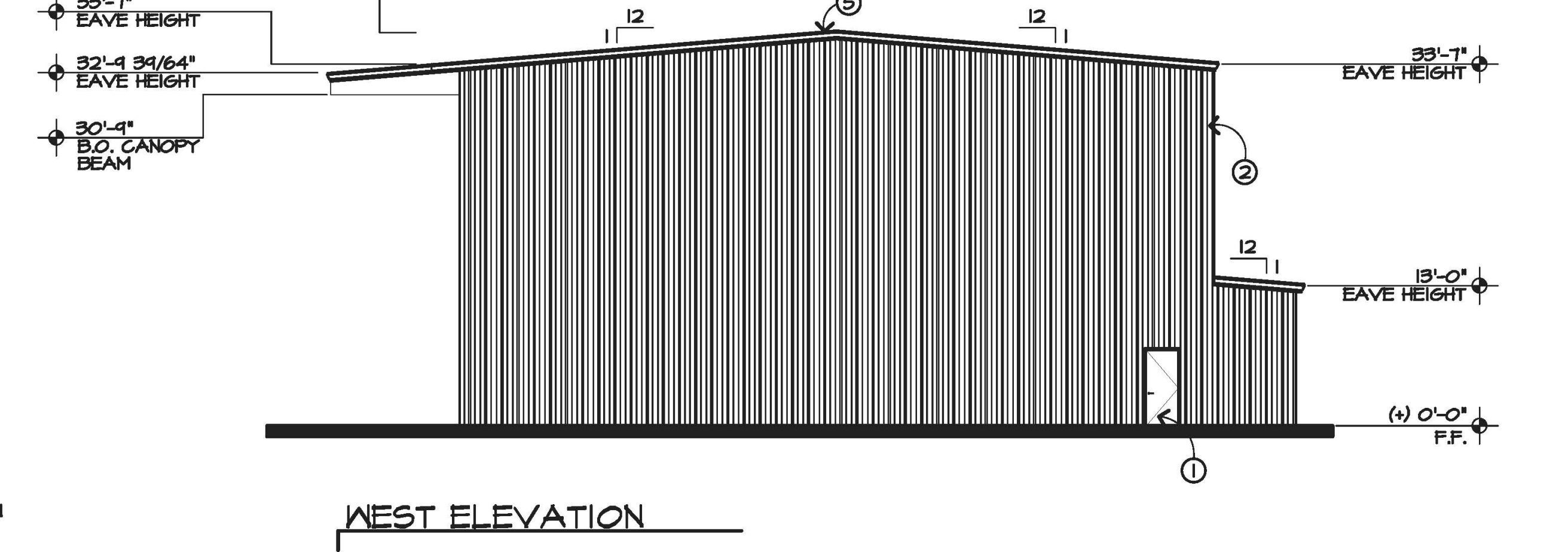
Date	03/18/24
Scale	1/4" = 1'-0"
Dr. By	JER-AM-1
Job No.	2022.055
Dwg. No.	22055ELV
Sheet	A-3.3
Revision No.	

No.	Issue/Revision	Date

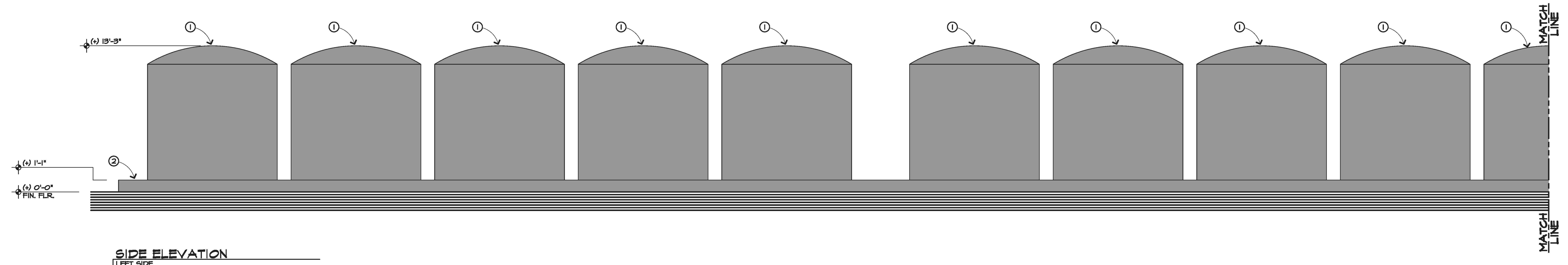
Date	03/18/24
Scale	3/32" = 1'-0"
Dr. By	J. ORTIZ
Job No.	2023.147
Dwg. No.	23147ELV
Sheet	A-3.4
Revision No.	



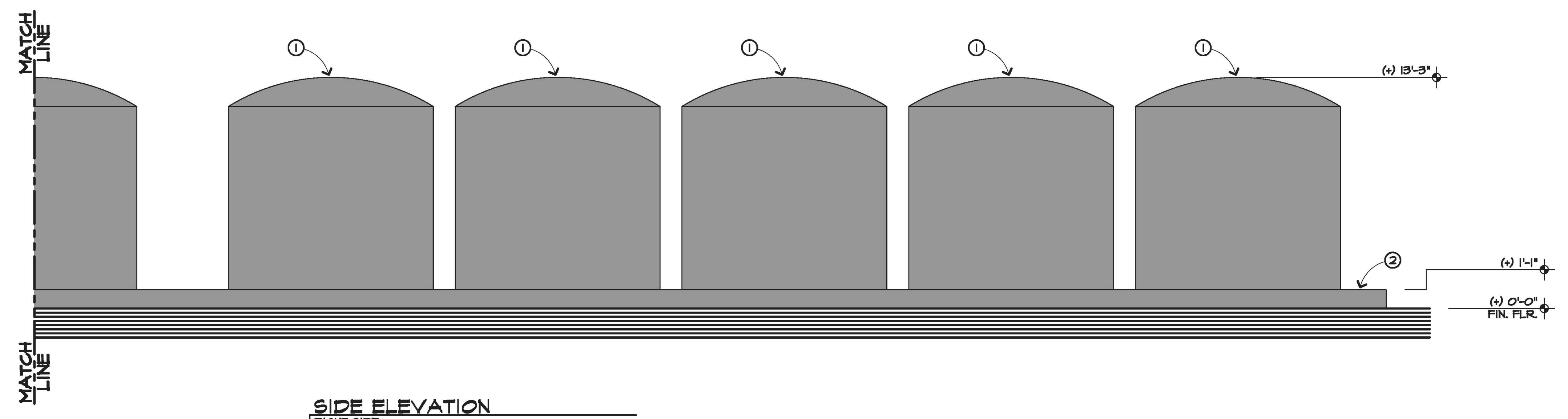
- EXTERIOR MATERIAL LIST:**
- | MARK | DESCRIPTION |
|------|--|
| ① | DOOR - SEE FLOOR PLAN |
| ② | METAL SIDING BY M.B.M. |
| ③ | EXISTING METAL SIDING BY M.B.M. |
| ④ | WALL X-BRACINGS - B M.B.M. |
| ⑤ | EXISTING WALL X-BRACINGS - B M.B.M. |
| ⑥ | ROOF X-BRACINGS - B M.B.M. |
| ⑦ | EXISTING ROOF X-BRACINGS - B M.B.M. |
| ⑧ | METAL ROOFING - BY M.B.M. |
| ⑨ | EXISTING METAL ROOFING - BY M.B.M. |
| ⑩ | COLUMN - BY M.B.M. |
| ⑪ | EXISTING COLUMN - BY M.B.M. |
| ⑫ | CONCRETE CURB - SEE BUILDING COORDINATION PLAN |
| ⑬ | EXISTING CONCRETE CURB |
| ⑭ | EXISTING PORTAL BRACE |
| ⑮ | PORTAL BRACE |



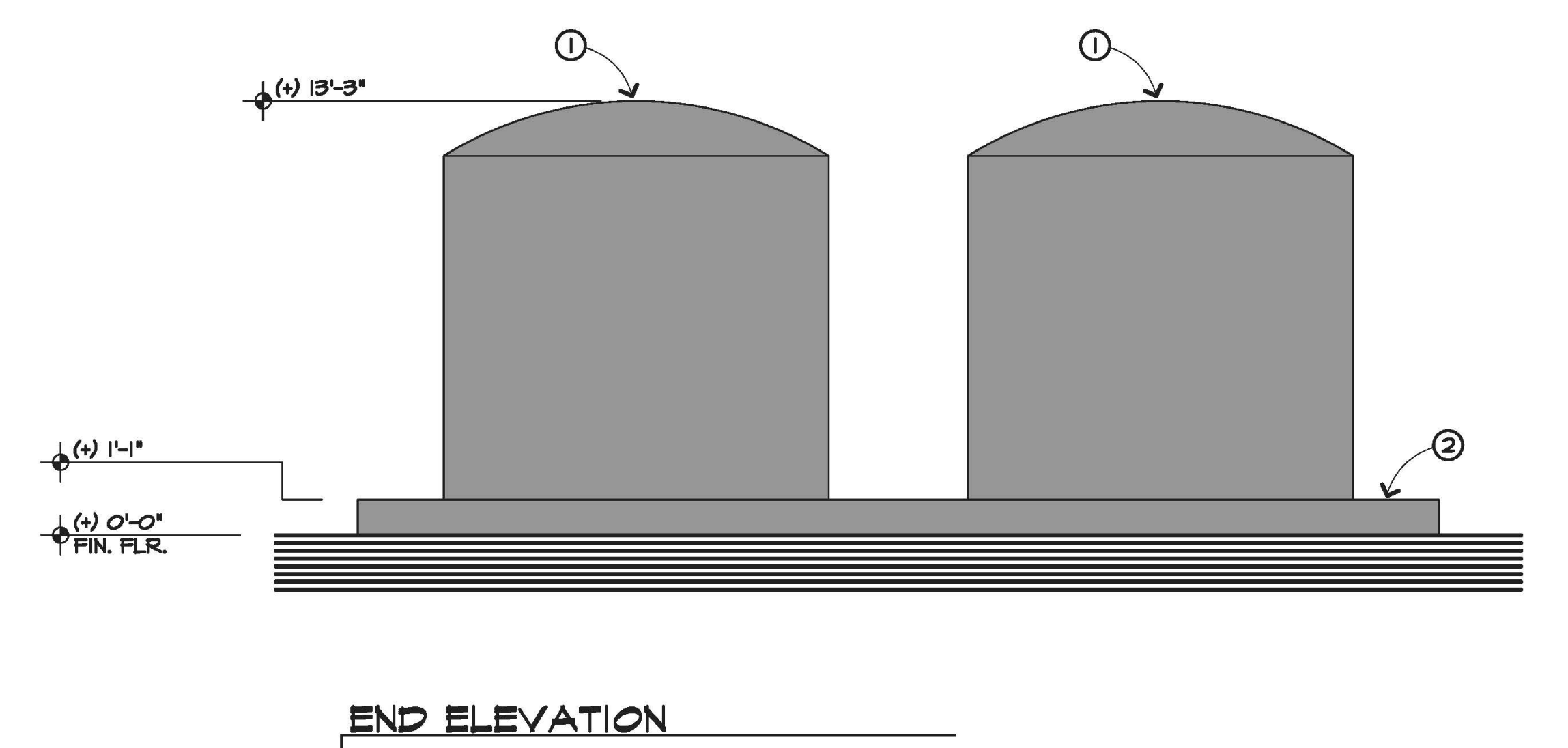
EXTERIOR ELEVATIONS
 UNION DRYING



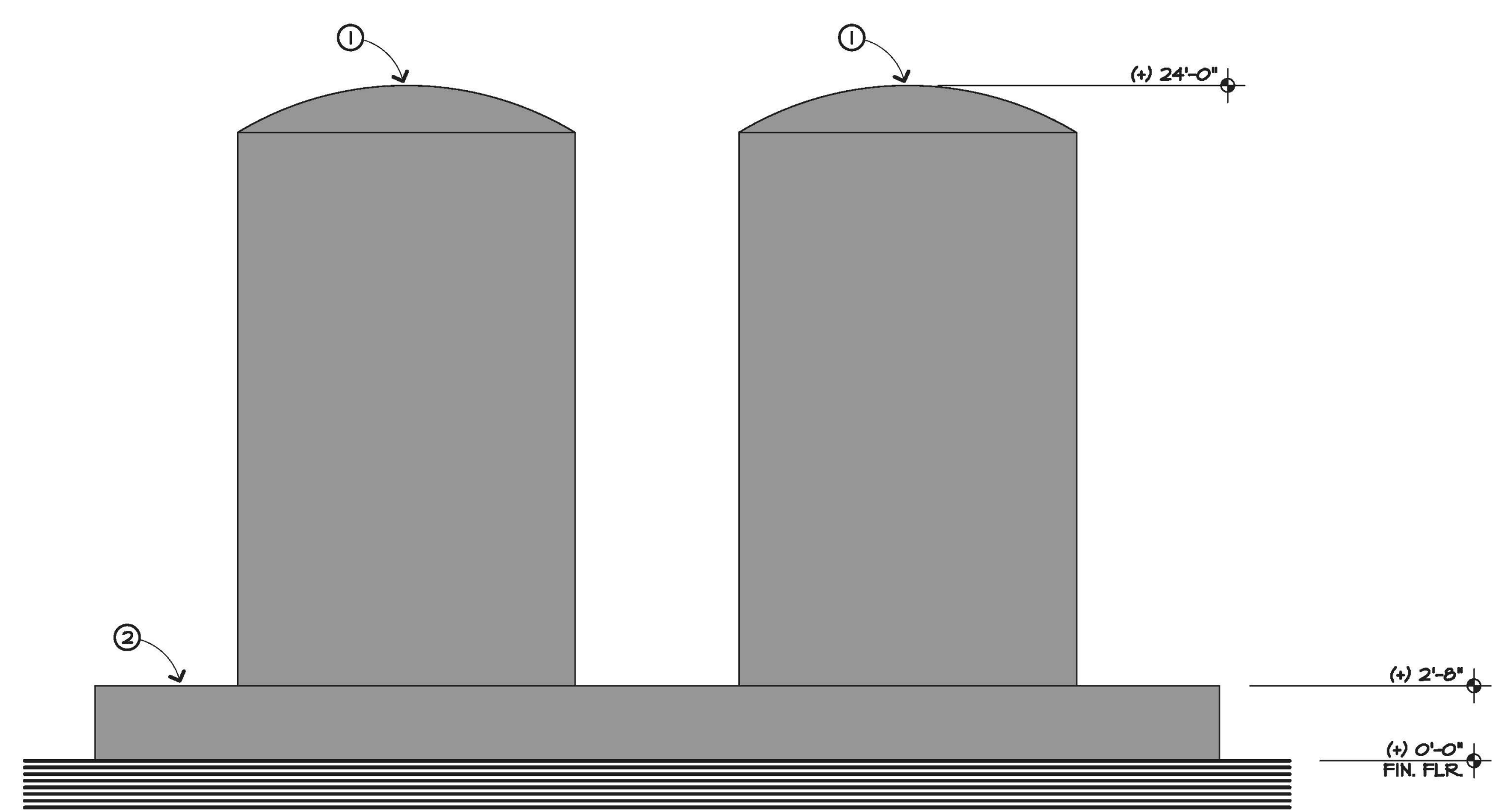
SIDE ELEVATION
LEFT SIDE



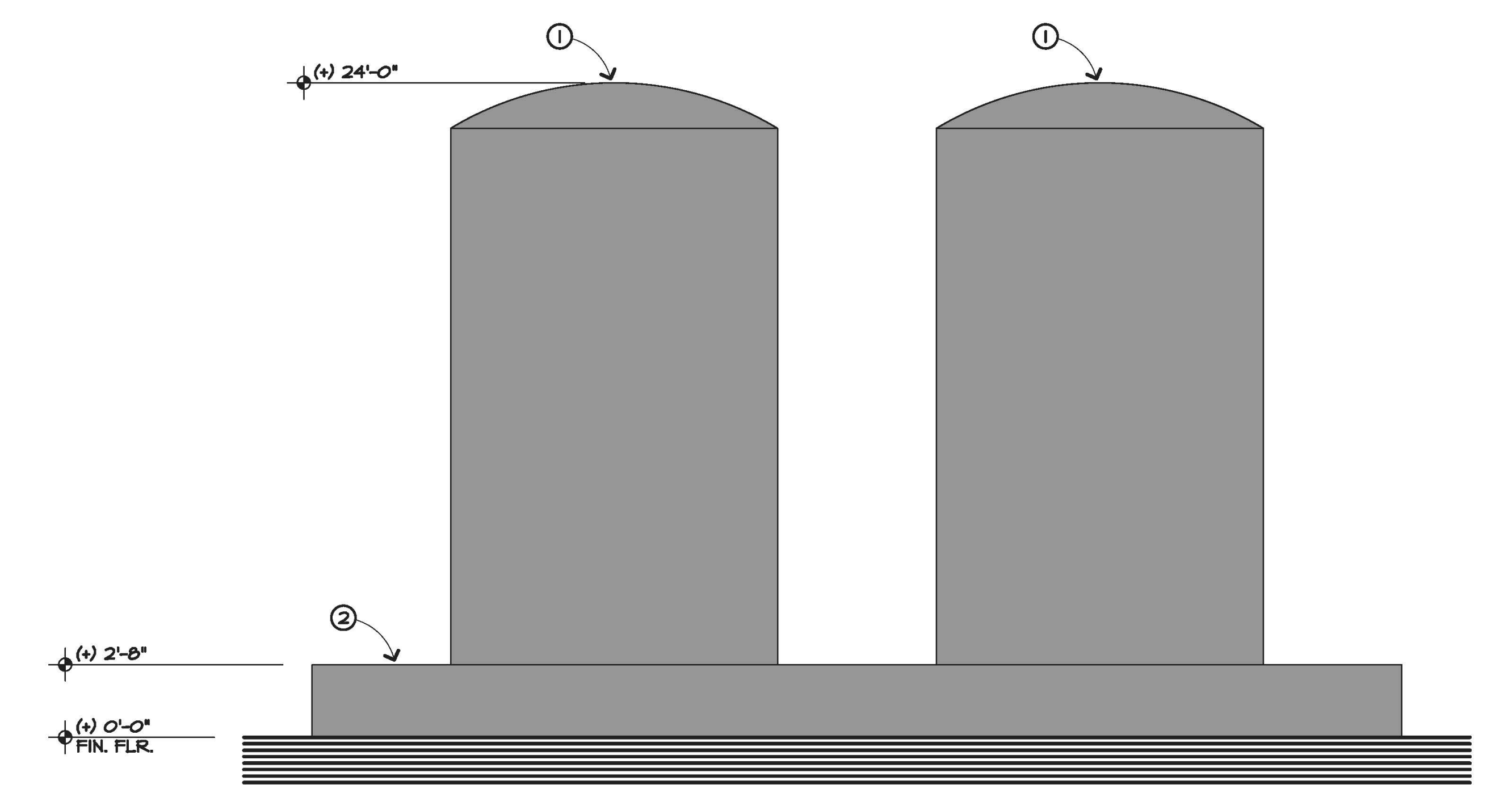
SIDE ELEVATION
RIGHT SIDE



END ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

EXTERIOR MATERIAL LIST:
(MATERIAL LIST APPLIES TO THIS SHEET ONLY)
MARK DESCRIPTION
① TANK
② CONTAINMENT WALL

EXTERIOR ELEVATIONS
FERTILIZER TANK CONTAINMENT

EXTERIOR ELEVATIONS
DIESEL TANK CONTAINMENT

No.	Issue/Revision	Date

Date	09/16/24
Scale	1/4" = 1'-0"
Dr. By	JER-AM-1
Job No.	2022.055
Dwg. No.	22055ELV
Sheet	A-3.5
Revision No.	









