



# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

## Planning Commission Staff Report Agenda Item No. 4 September 19, 2024

**SUBJECT:** Director Review and Approval Application No. 4771 and Environmental Review No. 8584

Allow the expansion of an existing 31,264 square-foot Private School constructing eight 960 square-foot buildings (5 classrooms, 1 office, 1 library, 1 storage), and one 384 square-foot building (restroom) on a 36.9-acre parcel located within the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.

**LOCATION:** The subject parcel is located on the southeast corner of East Belmont Ave. and North Academy Ave., approximately 0.68-miles north from the City limits of the City of Sanger. (APN:314-150-28s) (ADDRESS: 13189 E. Belmont Ave.) (Sup. Dist. 5).

**OWNER/  
APPLICANT:** Keith Gardner

**STAFF CONTACT:** Alyce Alvarez, Planner  
(559) 600-9669

David Randall, Senior Planner  
(559) 600-4052

### RECOMMENDATION:

- Approve Director Review and Approval Application No. 4771; and
- Direct the Secretary to prepare a resolution documenting the Commission's action.

**EXHIBITS:**

1. Conditions of Approval and Project Notes
2. Location Map
3. Existing Zoning Map
4. Existing Land Use Map
5. Site Plans, Floor Plans and Elevations
6. Operational Statement
7. Site Photos

**SITE DEVELOPMENT AND OPERATIONAL INFORMATION:**

<b>Criteria</b>	<b>Existing</b>	<b>Proposed</b>
General Plan Designation	Agriculture	No change
Zoning	AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District	No change
Parcel Size	36.90-acres	No change
Project Site	31,264 square-foot school building, outdoor play area, parking area and orchards	eight 960 square-foot buildings (5 classrooms, 1 office, 1 library, 1 storage), and one 384 square-foot building (restroom)
Structural Improvements	Existing 3,218 square-foot restaurant located on the northwest corner of subject parcel (approximately 1.60-acres) and 31,264 square-foot school building, parking area	eight 960 square-foot buildings (5 classrooms, 1 office, 1 library, 1 storage), and one 384 square-foot building (restroom)
Nearest Residence	Approximately 45 feet east of the subject parcel boundary	No change
Surrounding Development	Orchards, vineyards, sparse residential development	No change
Operational Features	Existing restaurant/agricultural commercial center (approved by CUP No. 2813, in 1997) and private school	Additional classrooms, library, office, storage room, and restrooms
Employees	10 employees ((four teachers, three academic administrators, and three maintenance staff)	Two additional teachers; total number of employees 12
Customers	96 students (four classrooms x 24 students per classroom)	Additional 50 students (5 classrooms x 10 students per classroom); total number of students for school, 146

<b>Criteria</b>	<b>Existing</b>	<b>Proposed</b>
Traffic Trips	Academy Ave: 6,100 vehicles per day (includes northbound and southbound lanes)  Belmont Ave: 2,000 vehicles per day	The project is anticipated to add approximately 94 new daily traffic trips, including 12 new daily truck trips (accounting for pass by trip reductions discussed in Tables VII, VIII and IX of the Traffic Impact Analysis.
Lighting	Approximately 15 pole mounted light fixtures around perimeter of restaurant parking area and along the rear of the restaurant, westerly adjacent to the project site. Mounted light fixtures on school, pole mounted lights in the parking area, and around the sports field.	No change
Hours of Operation	School facility open from 7:30 a.m. to 6:00 p.m., Monday through Saturday. Typical school attendance hours from 8:30 a.m. to 3:30 p.m.  Special events: 6:00 p.m. to 9:00 p.m.  Recreational area: 8:00 a.m. to 10:00 p.m., Monday through Friday.	No change

**EXISTING VIOLATION (Y/N) AND NATURE OF VIOLATION: N**

**ENVIRONMENTAL ANALYSIS:**

It has been determined pursuant to Article 11, Section 15162 of the California Environmental Quality Act (CEQA): An initial study was prepared for this application by County staff in conformance with the provisions of the California Environmental Quality Act (CEQA) when the school facility was first approved under Director’s Review and Approval (DRA) 4603. Staff has determined that the previously adopted Mitigated Negative Declaration is appropriate.

**PUBLIC NOTICE:**

Notices were sent to 27 property owners within 1,320 feet of the subject parcel, exceeding the minimum notification requirements prescribed by the California Government Code and County Zoning Ordinance.

**PUBLIC COMMENT:**

No public comment was received as of the date of preparation of this report.

**PROCEDURAL CONSIDERATIONS:**

A Director Review and Approval may be approved only if four Findings specified in the Fresno County Zoning Ordinance, Section 845.5.060 (B) are made. As per Section 846.5.050 at the Directors discretion the proposed use may be referred directly to the Planning Commission for a public hearing and decision. If the proposed use is referred to the Commission, the noticing, hearing, and Board appeal procedures of Section 876.6 shall be followed.

The decision of the Planning Commission on a Director Review and Approval Application is final, unless appealed to the Board of Supervisors within 15 days of the Commission’s action.

**BACKGROUND INFORMATION:**

The subject parcel originally consisted of Lot 3 and Lot 4 of the Alta Colony Subdivision recorded March 7, 1891. The parcel has historically been utilized for agriculture and appears to have been continuously farmed since 1937 according to available historical aerial imagery. In 1997 the County approved Classified Conditional Use Permit No. 2813 authorizing an agricultural commercial center consisting of a restaurant on a 1.60-acre portion of the northwest corner of the property, which is currently in operation. The original DRA application for the private school was approved on January 28, 2021 with a gymnasium and basketball court, four classrooms, each with capacity for up to 24 students, (96 students total) and two additional multi-purpose classrooms, a commercial kitchen, administrative offices, staff lounge, staff and student restrooms, and a detached outdoor restroom facility. The current application proposes the addition of the construction of eight 960 square-foot buildings (5 classrooms, 1 office, 1 library, 1 storage), and one 384 square-foot building (restroom) with an additional two teachers and 50 students bringing the total number of staff to 12 and students to 146.

*Finding 1: That the site of the proposed use is adequate in size and shape to accommodate said use and all yards, spaces, walls and fences, parking, loading, landscaping, and other features required by this Division, to adjust said use with land and uses in the neighborhood*

	<b>Current Standard:</b>	<b>Proposed Operation:</b>	<b>Is Standard Met (y/n)</b>
Setbacks	Front: 35 feet Side: 20 feet Rear: 20 feet	Front (north): 83 feet Side (east): 171 feet Side (west): 20 feet Rear (south): 346 feet	Yes
Parking	Places of assembly: One (1) parking space for every forty (40) square feet of area within the main auditorium (gymnasium)	215 spaces (based upon the square footage of the court area) (including 8 ADA, of which 2 shall be van accessible)	Yes
Lot Coverage	No requirements	The addition of approximately 8,064 square feet of building area	N/A

	<b>Current Standard:</b>	<b>Proposed Operation:</b>	<b>Is Standard Met (y/n)</b>
Space Between Buildings	N/A	N/A	N/A
Wall Requirements	No requirement	No requirement	N/A
Septic Replacement Area	100 percent	No change	Yes
Water Well Separation	Septic tank: 100 feet; Disposal field: 100 feet; Seepage pit: 150 feet	N/A	Yes

**Reviewing Agency/Department Comments Regarding Site Adequacy:**

Fresno County Department of Public Health, Environmental Health Division:

The original as-built septic system installed was designed to accommodate a maximum occupancy of 242 occupants (students, teachers and staff). As the size of the school approaches 242 occupants, any subsequent building additions or additional phases of development will require modification and/or additions to the septic system, which will need to be done in accordance with the Fresno County Local Area Management Plan (LAMP) and California Plumbing Code (CPC) requirements.

Development Engineering Section of Public Works and Planning:

An engineered grading and drainage plan should be required to show how the additional storm water runoff generated by the proposed development will be handled without adversely impacting adjacent properties. If the licensed Civil Engineer deems an engineered grading and drainage plan is not necessary because the proposed development does not substantially increase the net impervious surface on-site and the existing drainage patterns are not changed, Letter of Retention and Letter of Certification from a licensed Civil Engineer addressed to the Department of Public Works and Planning will be required. The Letter of Certification must specify the reason why an engineered grading and drainage plan is not needed. Prior to or during Site Plan Review calculation must be submitted to Development Engineering Section to show that the capacity of the existing drainage basin is adequate to accommodate the additional new runoff from the expanded use and impervious surfaces.

**Analysis Finding 1:**

Staff's review of the Site Plan determined that the existing and proposed improvements satisfy the minimum building setback requirements of the AE-20 Zone District. Additionally, while there are nine buildings being added, they are relatively small structures. The 36.9-acre parcel can effectively accommodate the 8,064 square-foot of proposed new buildings.

**Recommended Conditions of Approval Finding 1:**

Previous Conditions of Approval from DRA 4603 still apply.

**Conclusion Finding 1:**

Finding 1 can be made, the subject parcel/project site is adequate in size and shape to accommodate the proposed use.

*Finding 2: That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use*

		<b>Existing Conditions</b>	<b>Proposed Operation</b>
Private Road	No	N/A	N/A
Public Road Frontage	Yes	Academy Avenue: Good condition  Belmont Avenue: Excellent condition	No change
Direct Access to Public Road	Yes	Belmont Avenue  Academy Avenue	No change
Road ADT		Academy Avenue: 2,000  Belmont Avenue: 3,000	According to the Fresno County Transportation Unit, the project will add 99 trips on County roads.
Road Classification		Belmont Avenue: 2 lane Collector  Academy Avenue: 4 lane divided Arterial	No change
Right-of-Way Width		Academy 106' Ultimate 106' Currently Belmont 80'-84' Ultimate 80' Currently	No change
Road Width (Paved)		Belmont Avenue: 40.7 feet  Academy Avenue: 30 feet	No change
Road Surface		Belmont Avenue: Asphaltic Concrete (AC)/ Excellent condition (89.2 out of 100 PCI)  Academy Avenue: Asphaltic Concrete (AC)/ Good condition	No change
Traffic Trips		See road ADT above	Per the Fresno County Transportation Unit

		Existing Conditions	Proposed Operation
Traffic Impact Study (TIS) Prepared	No	See road conditions above	N/A
Road Improvements Required		N/A	No requirements

**Reviewing Agency/Department Comments Regarding Adequacy of Streets and Highways:**

Road Maintenance and Operations Division of Public Works and Planning:

Belmont has an ultimate road right-of-way of 84-feet. All setbacks shall be based off ultimate right-of-way. All previous conditions for DRA 4603 & SPR 8215 shall still apply.

Transportation Planning Unit of Public Works and Planning:

One of the five classrooms will be used as a computer lab/study room therefore the number of students changes from 50 to 40 students. This lowers the number of weekday trips below the threshold for a traffic impact study and is not required for the expansion of the private school. The current TIA for the project will suffice.

**Analysis Finding 2:**

The subject parcel has frontage on Belmont Avenue which is county maintained and classified as a collector road. The minimum total right-of-way for a collector road is 84 feet, and Belmont Avenue has a total existing right-of-way of 80-90 feet, no additional right-of-way dedication is required for this proposed expansion. Additionally, the proposed increase in employees and students will generate traffic below the threshold for a traffic impact study, hence a revised Traffic Impact Study was not required.

**Recommended Conditions of Approval related to Finding 2:**

Previous Conditions of Approval from DRA 4603 still apply.

**Conclusion Finding 2:**

Based on the above information, and the conditions of North Academy Avenue and East Belmont Avenue, the streets adjacent to the subject parcel are adequate in width and pavement type to accommodate the additional traffic trips generated by the proposed expansion, therefore Finding 2 can be made.

Finding 3: *That the proposed use will not be detrimental to the character of the development in the immediate neighborhood or the public health, safety, and general welfare.*

Surrounding Parcels				
	Size:	Use:	Zoning:	*Nearest Residence:
North	226.19 acres	Orchard/Single-Family Residence	AE-20	Approximately 940 feet

<b>Surrounding Parcels</b>				
South	17.02 acres	Field Crops/Single-Family Residential	AE-20	Approximately 550 feet
	2.0-acres	Single-Family Residential		Approximately 50 feet
East	19.39 acres	Orchard	AE-20	Approximately 60 feet
	1.5 acres	Single-Family Residential		
West	77.19 acres	Orchard/Single-Family Residential	AE-20	Approximately 400 feet

**Reviewing Agency/Department Comments:**

Fresno County Department of Public Health, Environmental Health Division:

The proposed project has the potential to expose nearby residents to elevated noise levels during construction. Consideration should be given to adherence to the Noise regulations in the County Ordinance Code..

**Analysis Finding 3:**

There were no adverse impacts identified by internal departments, outside agencies, or the public that would be caused by the proposed project, nor were there any comments in opposition received from the public.

**Recommended Conditions of Approval related to Finding 3:**

Previous Conditions of Approval from DRA 4603 still apply.

**Conclusion Finding 3:**

Finding 3 can be made as there were no adverse impacts to the surrounding area identified.

Finding 4: *That the proposed development will be consistent with the General Plan*

<b>Relevant Policies:</b>	<b>Consistency/Considerations:</b>
<p><b>Policy LU-A.1:</b>  <i>The County shall maintain agriculturally designated areas for agricultural use and shall direct urban growth away from valuable agricultural lands to cities, unincorporated communities, and other areas planned for such development where public facilities and infrastructure are available</i></p>	<p>The project site (subject property) will continue to be utilized for agriculture, in addition to the proposed expansion of the private school facility. The proposal is consistent with these Criteria.</p>



<b>Relevant Policies:</b>	<b>Consistency/Considerations:</b>
<p><b>Policy LU-A.3:</b>  <i>County may allow by discretionary permit in areas designated Agriculture, certain agricultural uses and agriculturally-related activities, including non-agricultural uses, subject to the following criteria: a) Use shall provide a needed service to surrounding agricultural area which cannot be provided within urban areas, or which requires location in a non-urban area because of unusual site requirements or operational characteristics; b) Use shall not be sited on productive agricultural lands if less productive lands are available in the vicinity; c) Use shall not have a detrimental impact on water resources or the use or management of surrounding properties within a one quarter-mile radius; d) Probable workforce located nearby or readily available; h) Discretionary permits for existing commercial uses shall preclude Criteria LU-A.3(b).</i></p>	<p>(a) This proposal entails the expansion of an existing school facility. As this is an expansion to an existing commercial use, Criteria (b) does not apply per Criteria (h). (c) Comments from the County Water and Natural Resources Division indicated that there would not be a detrimental impact on water resources. With adherence to the recommended Conditions of Approval and mandatory Project Notes discussed in this Staff Report, staff believes the proposal will not have a detrimental impact on the use or management of surrounding properties within the vicinity. (d) This proposal is located approximately 0.64-miles north from the City of Sanger, which has the ability to provide an adequate workforce. The proposal is consistent with these Criteria.</p>
<p><b>Policy LU-A.12:</b>  <i>In adopting land uses policies, regulations, and programs, the County shall seek to protect agricultural activities from encroachment of incompatible land uses.</i></p>	<p>The project site will continue to be utilized for agriculture, in addition to the proposed expansion of the private school facility. The proposal is consistent with these Criteria.</p>
<p><b>Policy LU-A.13:</b>  <i>The County shall protect agricultural operations from conflicts with non-agricultural uses by requiring buffers between proposed non-agricultural uses and adjacent agricultural operations. Additionally, the County shall consider buffers between agricultural uses and proposed sensitive receptors when processing discretionary land use applications</i></p>	<p>Review of the submitted site plan, shows there is currently fencing as the buffer between the orchards and the school. Reviewing agencies did not express further concern. The proposal is consistent with these Criteria.</p>
<p><b>Policy LU-A.14:</b>  The County shall ensure that the review of discretionary permits includes an assessment of the conversion of productive agricultural land and that mitigation be required where appropriate.</p>	<p>Review of the project's impact on agricultural land was conducted by agency's review and through analysis by the Policy Planning Section. With adherence to the recommended Conditions of Approval and mandatory Project Notes discussed in this Staff Report, staff believes the proposal will not have a detrimental impact on agricultural land.</p>

Relevant Policies:	Consistency/Considerations:
Policy LU-A 23:	

**Reviewing Agency Comments:**

Fresno County Policy Planning Unit:

The Fresno County Public Works and Planning Policy Planning Unit did not identify any conflicts with the General Plan as illustrated in the table above.

**Analysis Finding 4:**

The project was found to be consistent with all relevant Policies per the Fresno County Policy Planning Unit. Based on these factors, the proposed expansion of the existing school comprised of a total of 8,064 square-foot of building area, is consistent with the General Plan.

**Recommended Conditions of Approval:**

Previous Conditions of Approval from DRA 4603 still apply.

**Conclusion Finding 4:**

Finding 4 can be made based on the applicant complying with all relevant General Plan Policies and with adherence to the recommended Conditions of Approval and mandatory Project Notes discussed in this Staff Report.

**SUMMARY CONCLUSION:**

The Findings for granting the Application can be made based on the factors cited in the analysis, in conjunction with the recommended Conditions of Approval and Project Notes regarding mandatory requirements. Staff therefore recommends approval of Director’s Review and Approval Application No. 4771, subject to the recommended Conditions of Approval.

**PLANNING COMMISSION MOTIONS:**

**Recommended Motion** (Approval Action)

- Move to determine the required Findings can be made and move to approve Director Review and Approval Application No. 4771, subject to the Conditions of Approval and Project Notes listed in Exhibit 1; and
- Direct the Secretary to prepare a Resolution documenting the Commission’s action.

**Alternative Motion** (Denial Action)

- Move to determine that the required Findings cannot be made (state basis for not making the Findings) and move to deny Director Review and Approval Application No. 4771; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

**Recommended Conditions of Approval and Project Notes:**

See attached Exhibit 1.

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EXHIBIT 1

**Director Review and Approval Application No. 4771  
Conditions of Approval and Project Notes**

<b>Conditions of Approval</b>	
1.	All Conditions of Director's Review and Approval (DRA) No. 3603 and Mitigation Measures shall remain in full force and effect, except as modified with the approval of Director's Review and Approval (DRA) No. 4771.
2.	The project shall be developed in substantial conformance with the operational statement, site plan, floor plans and elevations as presented to and approved by the Planning Commission.
3.	A Site Plan Review shall be submitted to and approved by the Department of Public Works and Planning in accordance with Section 854.5 of the Fresno County Zoning Ordinance

<b>Notes</b>	
The following Notes reference mandatory requirements of Fresno County or other Agencies and are provided as information to the project Applicant.	
1.	The approval of DRA 4771 shall become void if there has not been substantial development within two years of the approval; or there has been a cessation in the occupancy or use of land or structures authorized by this DRA for a period in excess of two years.
2.	Contact the California Department of Public Health, Drinking Water Technical Programs Branch at 265 W. Bullard Avenue, Suite 101, Fresno, CA 93704 (559) 447-3300. Based upon the Operational Statement included with the application package, the facility will likely require permitting as a Non-Transient Non-Community Public Water System or require a covenant from The Blossom Trail Cafe.
3.	Any subsequent building additions or additional phases of development will require modification and/or additions to the septic system, which will need to be done in accordance with the Fresno County Local Area Management Plan (LAMP) and California Plumbing Code (CPC) requirements.
4.	New sewage disposal system or repair proposals shall be installed under permit and inspection by the Department of Public Works and Planning Building and Safety Section.
5.	The proposed project shall comply with the Fresno County Noise Ordinance Codes. All equipment shall be maintained according to the manufacturer's specifications, and that noise generating equipment be equipped with mufflers.
6.	Contact the California Department of Public Health, Drinking Water Technical Programs Branch at 265 W. Bullard Avenue, Suite 101, Fresno, CA 93704 (559) 447-3300. Based upon the Operational Statement included with the application package, the facility will likely require permitting as a Non-Transient Non-Community Public Water System or require a covenant from The Blossom Trail Cafe.
7.	At such time the applicant or property owner(s) decides to construct a water well, the water well contractor selected by the applicant will be required to apply for and obtain a Permit to Construct a Water Well from the Fresno County Department of Community Health, Environmental Health Division.
8.	If any underground storage tank(s) are found during construction, the applicant shall apply for and secure an Underground Storage Tank Removal Permit from the Fresno County Department of Public Health, Environmental Health Division.
9.	As a measure to protect ground water, all water wells and/or septic systems that exist or have been abandoned within the project area should be properly destroyed by an appropriately licensed contractor.

Notes	
10.	Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5.
11.	Any additional storm water runoff generated by the development of this site cannot be drained across property lines or into the County road right-of-way, and must be retained on-site, per County Standards.
12.	An engineered grading and drainage plan should be required to show how the additional storm water runoff generated by the proposed development will be handled without adversely impacting adjacent properties. If the licensed Civil Engineer deems an engineered grading and drainage plan is not necessary because the proposed development does not substantially increase the net impervious surface on-site and the existing drainage patterns are not changed, Letter of Retention and Letter of Certification from a licensed Civil Engineer addressed to the Department of Public Works and Planning will be required. The Letter of Certification must specify the reason why an engineered grading and drainage plan is not needed. While the Letter of Retention specifies the Engineer of Record retained by the Owner/Contractor to perform all on-site inspections and shall certify the construction of on-site improvements to the Department of Public Works & Planning in order for any work performed to be in accordance with the Fresno County Ordinance Code Title 1
13.	Calculations of the required basin storage capacity and the existing basin storage capacity should be submitted for verification purposes.
14.	A Notice of Intent (NOI) and Storm Water Pollution Prevention Plan (SWPPP) are required to be filed with State Water Resources Control Board (SWRCB) before the commencement of any construction activities disturbing 1.0 acre or more of area. Copies of completed NOI with WDID # and SWPPP shall be provided to Development Engineering prior to any grading work.
15.	Any existing or proposed parking areas should comply with the Fresno County Off-Street Parking Design Standards and/or current industry standards. Stalls should be 18' x 9', and backing distance must be a minimum of 29' for 90-degree parking stalls. Also 5' should be provided beyond the last stall in any row to provide for backing. Any proposed handicap accessible parking stalls and curb ramps shall be in compliance with ADA standards and the maximum surface slope within the disabled parking space(s) and adjacent access aisle(s) shall not exceed 2% in any direction.
16.	Any proposed landscape areas of 500 sq. ft. or more will be subject to the Model Water Efficient Landscape Ordinance (MWELo) and MWELo form/s and/or separate landscape and irrigation design plan should be required.
17.	The end of curbed/taper edge of any existing or proposed access driveway approach should be set back a minimum of 5' from the property line.
18.	For unpaved or gravel surface access roads, the first 100 feet off of the edge of the road right-of-way must be graded and asphalt concrete paved or treated with dust palliative.
19.	Any existing or proposed entrance gate should be set back a minimum of 20' from the road right-of-way line or the length of the longest truck entering the site and shall not swing outward.
20.	If not already present, a 10' x 10' corner cut-off should be improved for sight distance purposes at any existing or proposed driveway accessing Belmont Avenue and Academy Avenue.
21.	Any work done within the County road right-of-way to construct a new driveway or improve an existing driveway will require an Encroachment Permit from the Road Maintenance and Operations Division.
22.	A grading permit/voucher is required for any grading proposed with this application
23.	Project/Developments will be subject to the requirements of the current Fire Code and Building Code when a building permit or certificate of occupancy is sought. Before plans are submitted to the Fresno County Fire Protection District, please visit our website at <a href="http://www.fresnocountyfire.org">www.fresnocountyfire.org</a> and complete the Fire Permit Application to submit with your plans

**Legend**



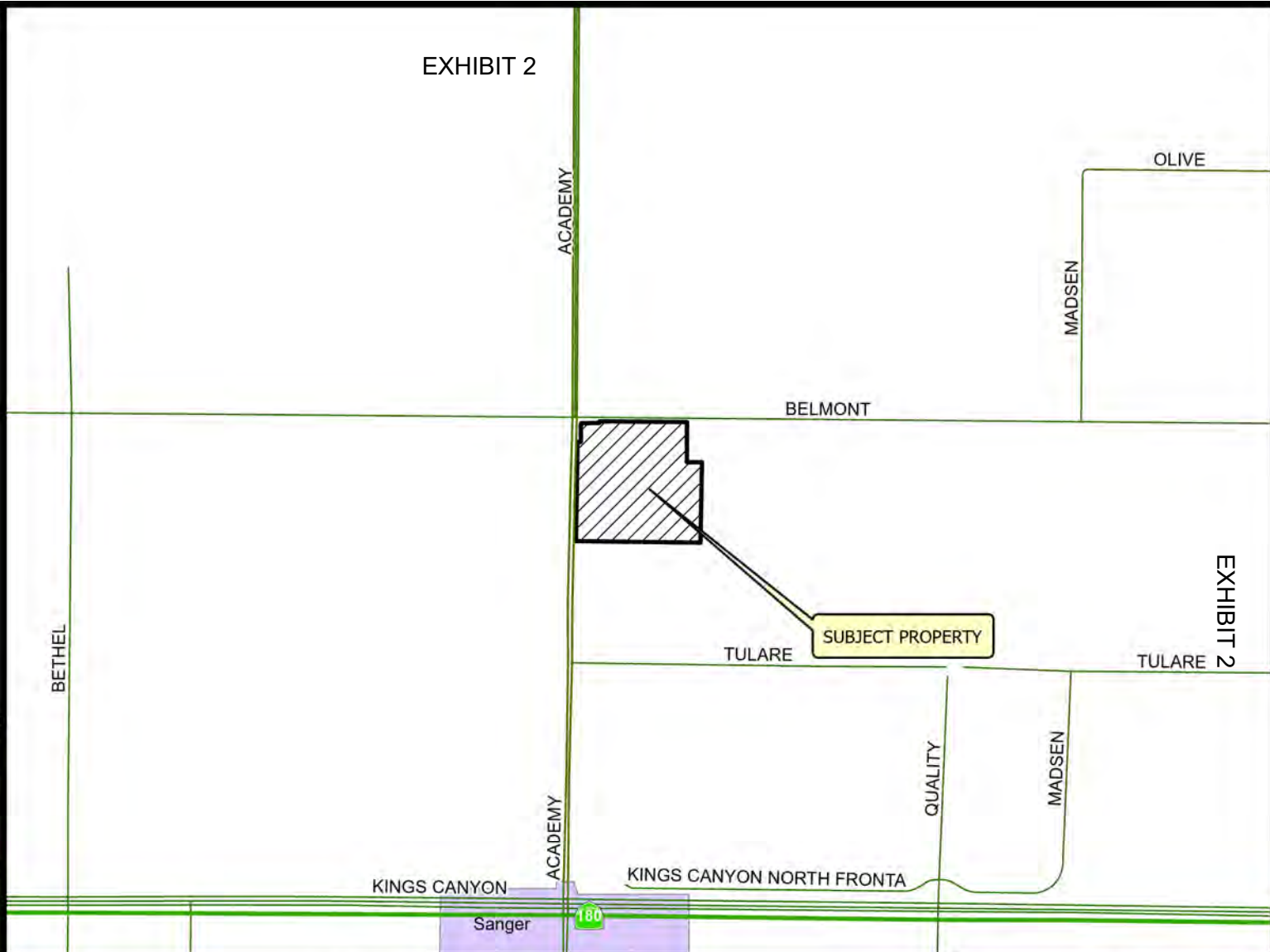
-  Sanger
-  Subject Property

EXHIBIT 2



**VICINITY MAP**

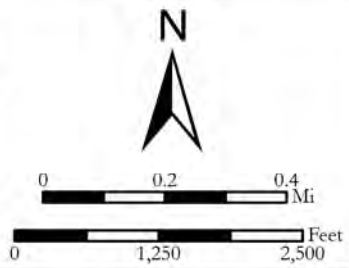


**LOCATION MAP**

**DRA4771**



**2024**

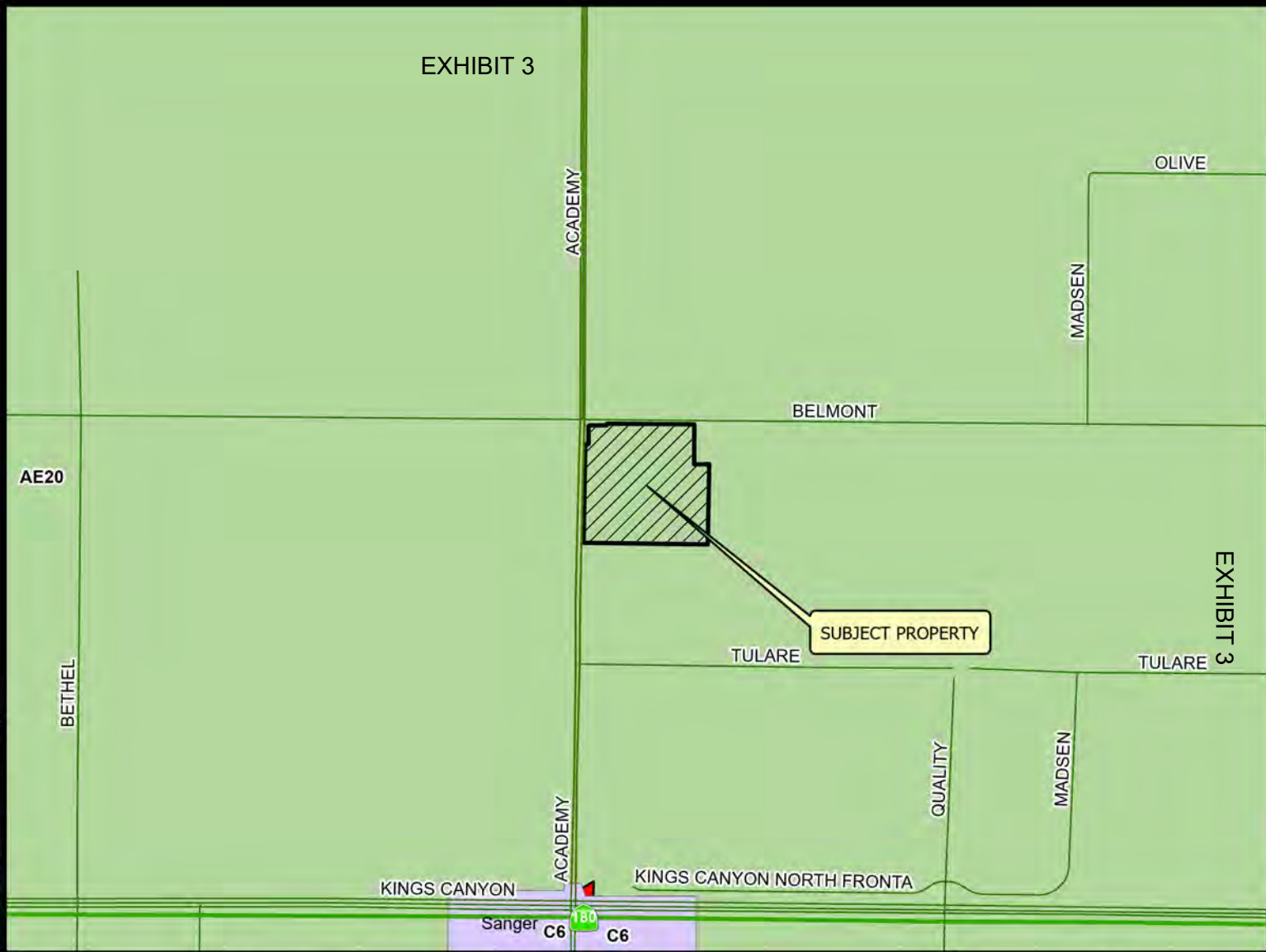
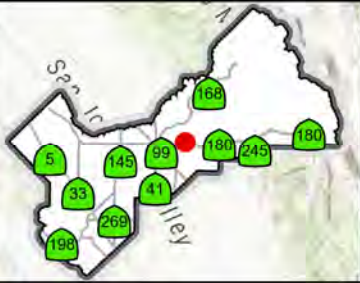
Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division  
Person Prepared by : jocervantes  
On Date : 5/21/2024





**Legend**

-  Subject Property
-  Sanger
-  C6
-  AE20

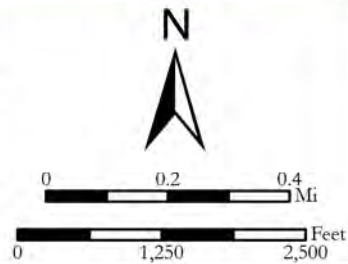


# Existing Zoning Map



DRA4771  
STR 2 - 14S / 22E

2024

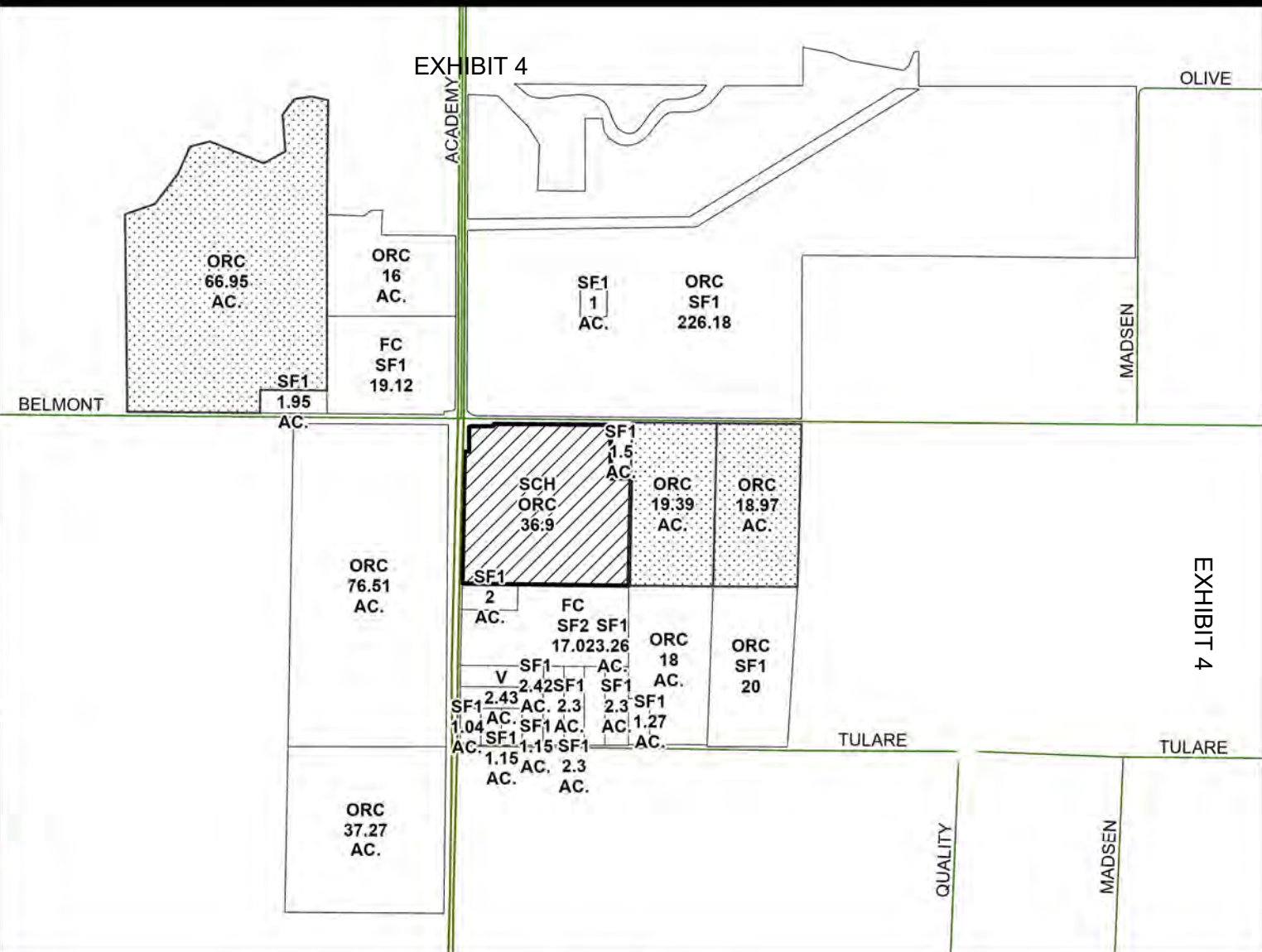
Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division  
Person Prepared by : jocervantes  
On Date : 5/21/2024



**LEGEND:**

-  Subject Property
-  Ag Contract Land

<b>LEGEND</b>
FC - FIELD CROP
ORC - ORCHARD
SCH - SCHOOL
SF#- SINGLE FAMILY RESIDENCE
V - VACANT

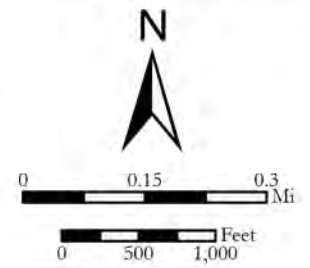


**Existing Land Use Map**

**DRA4771**

**2024**

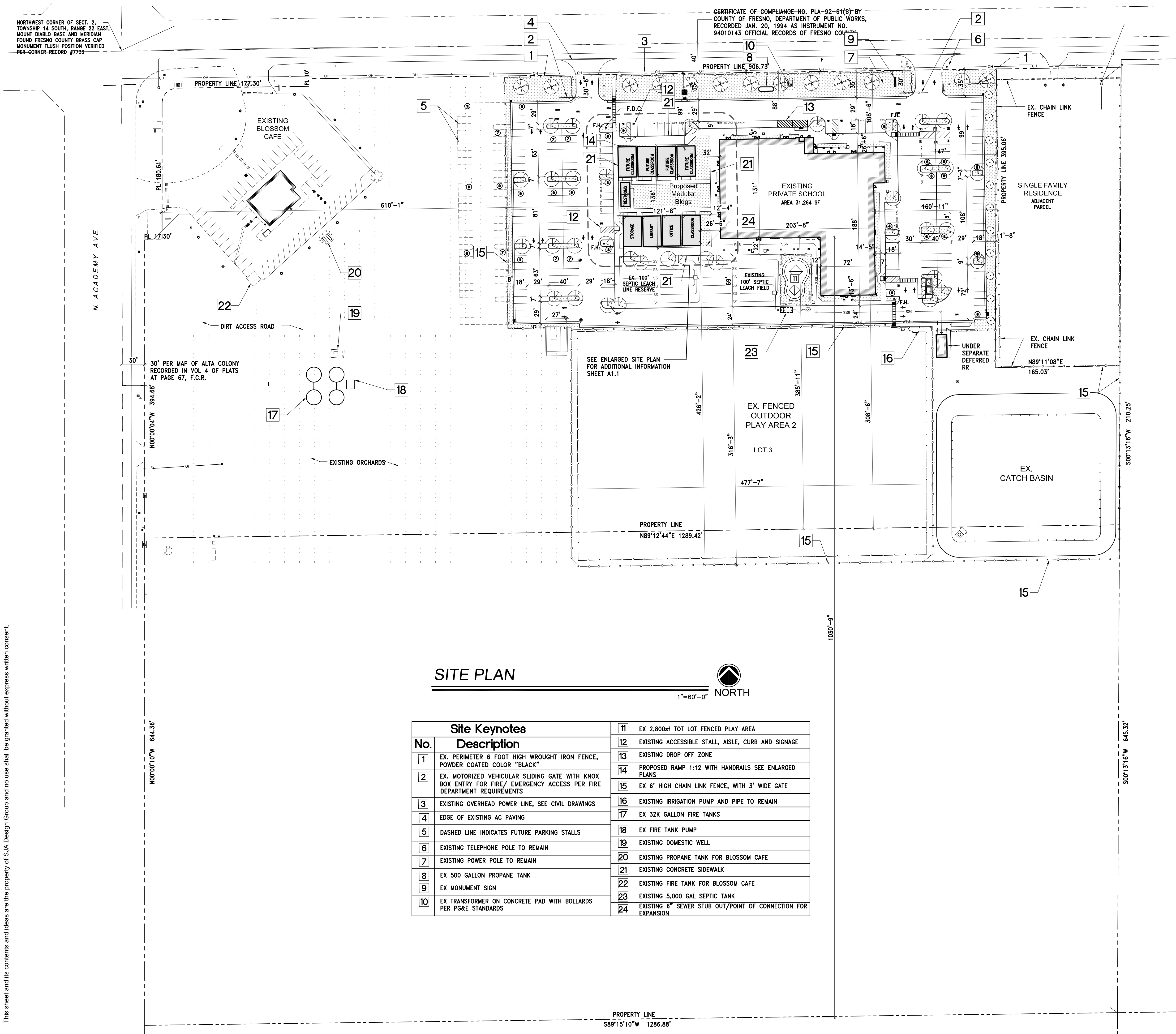
Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division  
 Person Prepared by : jocervantes  
 On Date : 5/21/2024



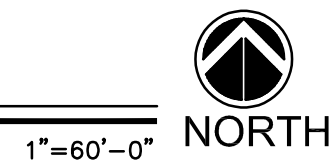


NORTHWEST CORNER OF SECT. 2, TOWNSHIP 14 SOUTH, RANGE 22 EAST, MOUNT Diablo BASE AND MERIDIAN FOUND FRESNO COUNTY BRASS CAP MONUMENT FLUSH POSITION VERIFIED PER CORNER RECORD #7735

CERTIFICATE OF COMPLIANCE NO. PLA-92-61(B) BY COUNTY OF FRESNO, DEPARTMENT OF PUBLIC WORKS, RECORDED JAN. 20, 1994 AS INSTRUMENT NO. 94010143 OFFICIAL RECORDS OF FRESNO COUNTY



**SITE PLAN**



Site Keynotes	
No.	Description
1	EX. PERIMETER 6 FOOT HIGH WROUGHT IRON FENCE, POWDER COATED COLOR "BLACK"
2	EX. MOTORIZED VEHICULAR SLIDING GATE WITH KNOX BOX ENTRY FOR FIRE/ EMERGENCY ACCESS PER FIRE DEPARTMENT REQUIREMENTS
3	EXISTING OVERHEAD POWER LINE, SEE CIVIL DRAWINGS
4	EDGE OF EXISTING AC PAVING
5	DASHED LINE INDICATES FUTURE PARKING STALLS
6	EXISTING TELEPHONE POLE TO REMAIN
7	EXISTING POWER POLE TO REMAIN
8	EX 500 GALLON PROPANE TANK
9	EX MONUMENT SIGN
10	EX TRANSFORMER ON CONCRETE PAD WITH BOLLARDS PER PG&E STANDARDS
11	EX 2,800sf TOT LOT FENCED PLAY AREA
12	EXISTING ACCESSIBLE STALL, AISLE, CURB AND SIGNAGE
13	EXISTING DROP OFF ZONE
14	PROPOSED RAMP 1:12 WITH HANDRAILS SEE ENLARGED PLANS
15	EX 6" HIGH CHAIN LINK FENCE, WITH 3' WIDE GATE
16	EXISTING IRRIGATION PUMP AND PIPE TO REMAIN
17	EX 32K GALLON FIRE TANKS
18	EX FIRE TANK PUMP
19	EXISTING DOMESTIC WELL
20	EXISTING PROPANE TANK FOR BLOSSOM CAFE
21	EXISTING CONCRETE SIDEWALK
22	EXISTING FIRE TANK FOR BLOSSOM CAFE
23	EXISTING 5,000 GAL SEPTIC TANK
24	EXISTING 6" SEWER STUB OUT/POINT OF CONNECTION FOR EXPANSION

PROJECT DATA	
<b>Address:</b> 13189 EAST BELMONT AVE. SANGER, CA	
<b>Zoning /Land Use</b> EXISTING ZONING: AE-20 (EXCLUSIVE AGRICULTURAL DISTRICT) APN: 314-150-285 (36.9 AC)	
<b>Scope of Work</b> ADD NEW MODULAR (1) CLASSROOMS (4) FUTURE CLASSROOMS, (1) OFFICE, (2) STORAGE ROOMS & (1) RESTROOM LOCATED WEST OF THE EXISTING GYM	
<b>Code Analysis</b> E OCCUPANCY AREA: CONST. TYPE V-B - NON-SPRINKLERED (1STORY) TABLE 504.3: BASIC ALLOWABLE HEIGHT: 40 FEET TABLE 504.4: BASIC ALLOWABLE STORY: 1-STORY TABLE 506.2: BASIC ALLOWABLE AREA FACTOR: 9,500 SQ. FT. (S)  B OCCUPANCY AREA: CONST. TYPE V-B - NON-SPRINKLERED (1STORY) TABLE 504.3: BASIC ALLOWABLE HEIGHT: 40 FEET TABLE 504.4: BASIC ALLOWABLE STORY: 1-STORY TABLE 506.2: BASIC ALLOWABLE AREA FACTOR: 9,000 SQ. FT. (S)  S OCCUPANCY AREA: (ACCESSORY) CONST. TYPE V-B - NON-SPRINKLERED (1STORY) TABLE 504.3: BASIC ALLOWABLE HEIGHT: 40 FEET TABLE 504.4: BASIC ALLOWABLE STORY: 1-STORY TABLE 506.2: BASIC ALLOWABLE AREA FACTOR: 9,000 SQ. FT. (S)	
<b>Building Area</b> BUILDING AREAS: (EX) GYM / BASKETBALL 13,187 SF (EX) SCHOOL / ADMIN 18,077 SF  TOTAL AREA 31,264 SF  MODULAR BUILDING AREAS NEW CLASSROOMS (24'x40') = 960sf x 5 = 4,800 OFFICE (24'x40') = 960sf LIBRARY (24'x40') = 960sf STORAGE (24'x40') = 960sf RESTROOM (12'x32') = 384sf  TOTAL PROPOSED BLDG AREA = 8,064 sf	
<b>Parking Provided</b> PARKING PROVIDED ACCESSIBLE STALL = 10 STALL STANDARD STALLS = 189 STALLS  TOTAL PARKING COUNT = 199 STALLS BICYCLE PARKING  PER CALGREEN PROVIDED BICYCLE PARKING FOR A TOTAL OF 5% OF PARKING STALL COUNT. 199 STALLS x 5% = 10 (REQUIRED BICYCLE PARKING)	
<b>Future Parking Stalls</b> BASED ON GYM AREA OF 12,957 SQ. FT. INTERIOR PERIMETER MINUS BASKETBALL COURT AREA 50'x90' = 4500 SF TOTAL AREA FOR PARKING BASED ON 12,957 - 4500 = 8,457 1 STALL PER 40 SQUARE FEET = 8,457 / 40 = 211 PARKING STALLS  FUTURE PARKING SHOWN DASHED STANDARD STALLS = 54 STALLS PLUS 199 STALLS MINUS LOSS OF (6) STALLS FOR AISLE & ACCESSIBLE STALL TOTAL PARKING COUNT = 247 STALLS	

**SJA**  
Design Group

1915 Carolina Ave.  
Clovis CA 93611  
PH: 559. 593.9692

**The King's Corner Ministries  
Private School**  
13189 East Belmont Ave. Sanger, CA

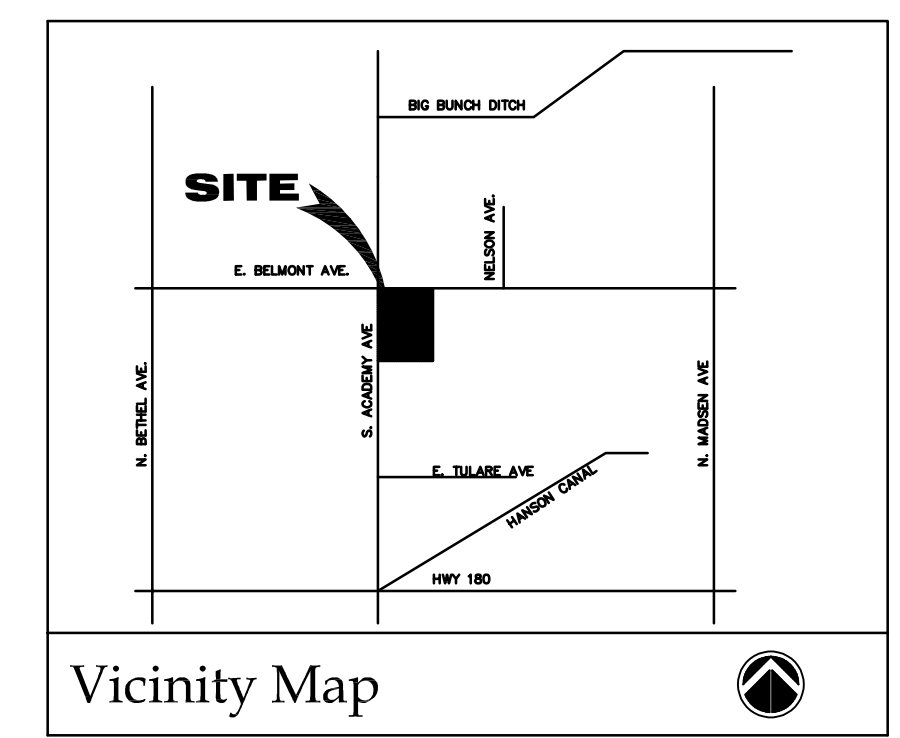
Date: 01.30.2024  
Drawn By: Susan Jones  
Project # 24002

Site Plan

Revisions  
△ xx  
△ xx  
△ xx

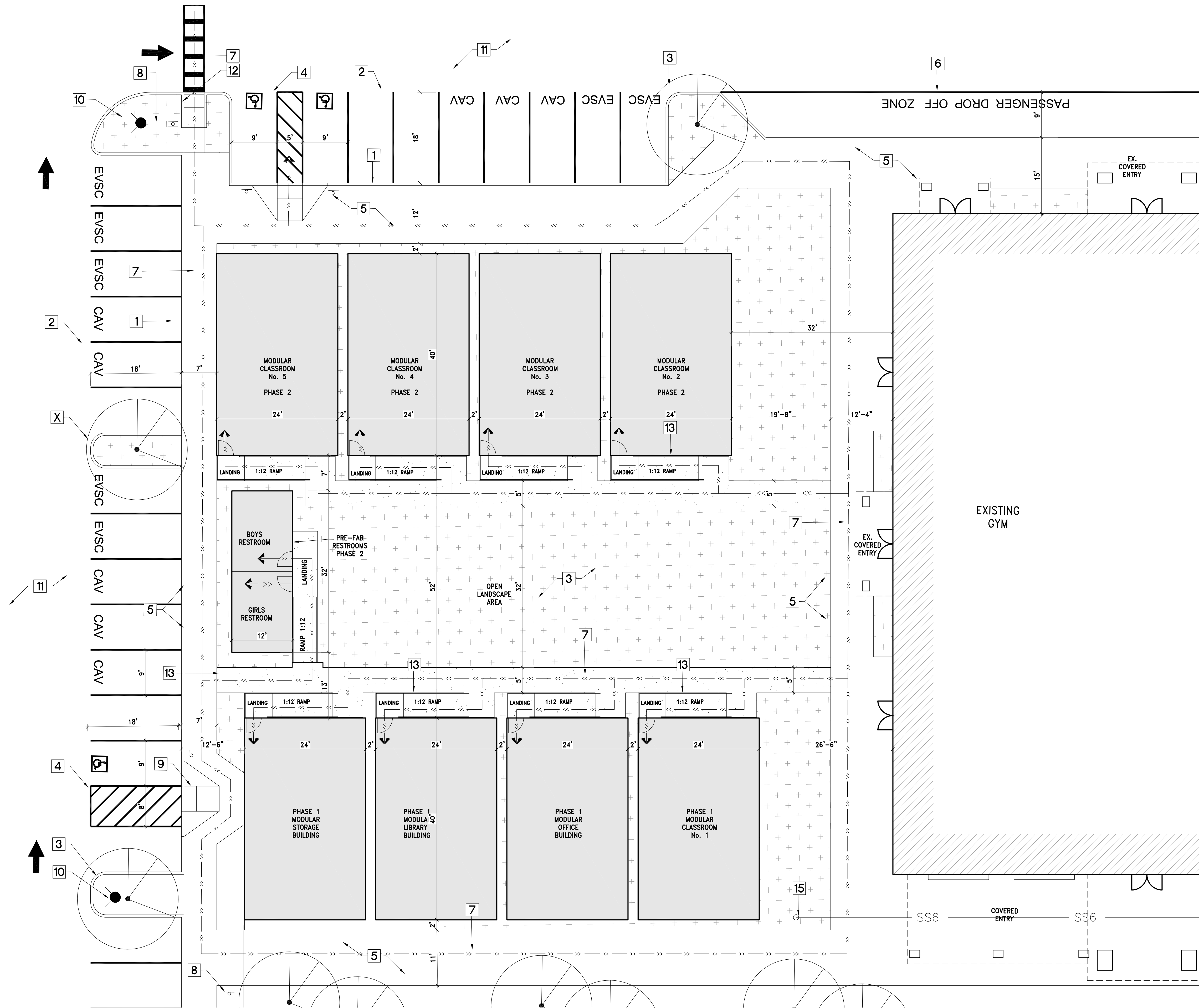
SHEET No.

**A1.0a**



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Site Keynotes	
No.	Description
1	EX 6" HIGH CONCRETE CURB
2	EX PARKING STALLS 9'x18', STRIPE PER COUNTY REQUIREMENTS
3	EX LANDSCAPE AREAS / PLANTERS
4	EX ACCESSIBLE PARKING STALLS, RAMPS & SIGNAGE PER CBC 2022
5	EX CONCRETE SIDEWALK A MIN OF 4 FEET CLEAR AND 7 FEET WHEN ADJACENT TO PARKING STALLS
6	PASSENGER DROP OFF AND LOADING ZONE SHALL PROVIDE VEHICULAR PULL UP SPACE 96" WIDE MIN. AND 20 FEET LONG (PROVIDE 2 SPACES) PER CBC 2022
7	PATH OF TRAVEL CROSS SLOPE 2% MAX AND 5% SLOPE IN THE DIRECTION OF TRAVEL
8	SITE ACCESSIBILITY DIRECTIONAL SIGN PER CBC 2022
9	EX CURB RAMP WITH DETECTABLE WARNING PER CBC 2022
10	EX FIRE HYDRANT
11	EX ASPHALT PARKING LOT
12	EX ALTERNATE CURB RAMP PER CBC 2022
13	NEW PRE-FAB RAMP 1:12 MAX w/ HANDRAILS PER CBC 2022
14	NEW CONCRETE SIDEWALK FOR BOTTOM LANDING AREA AT NEW RAMP
15	EXISTING 6" SEWER STUB OUT/POINT OF CONNECTION FOR EXPANSION
16	NOT USED

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Design Group

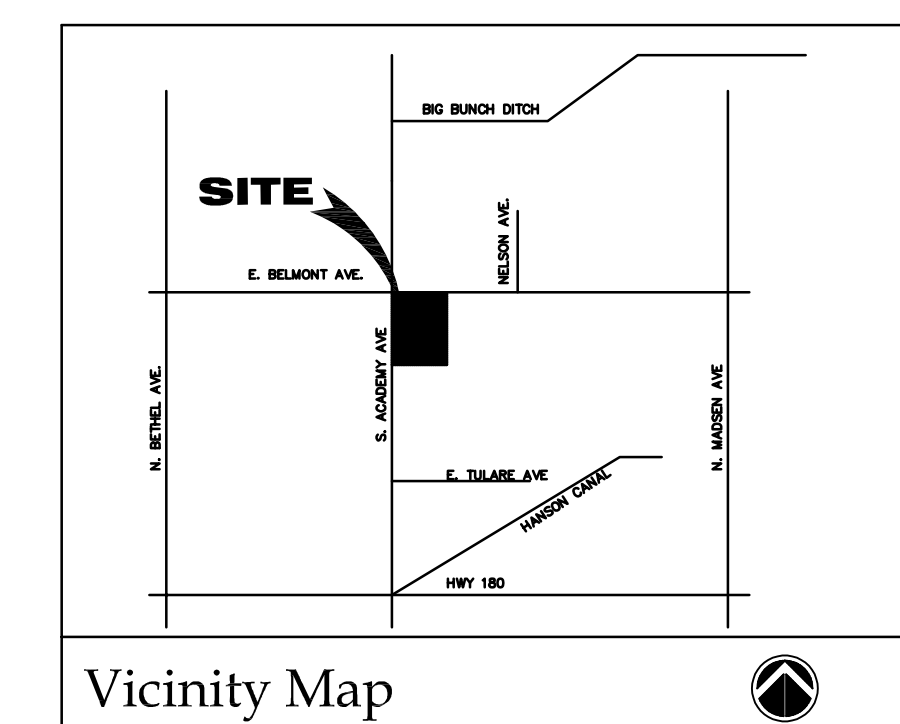
1915 Carolina Ave.  
Clovis CA 93611

PH: 559. 593.9692

**The King's Corner Ministries  
Private School**  
13189 East Belmont Ave. Sanger, CA

Date: 01.30.2024  
Drawn By: Susan Jones  
Project # 24002

Enlarged Site Plan



Revisions  
 △ xx  
 △ xx  
 △ xx

SHEET No.

**A1.1**

**Partial Enlarged Site Plan**

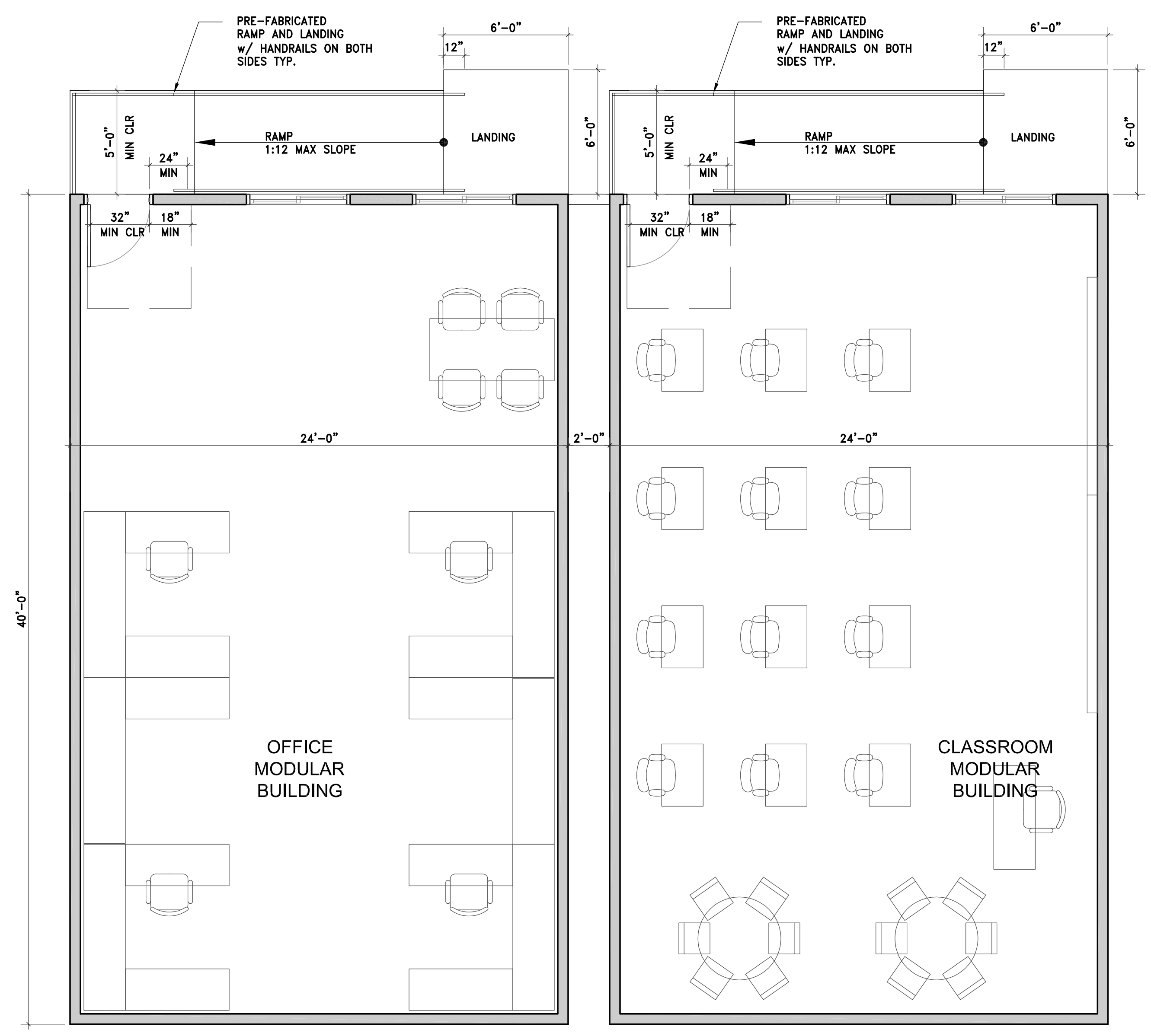
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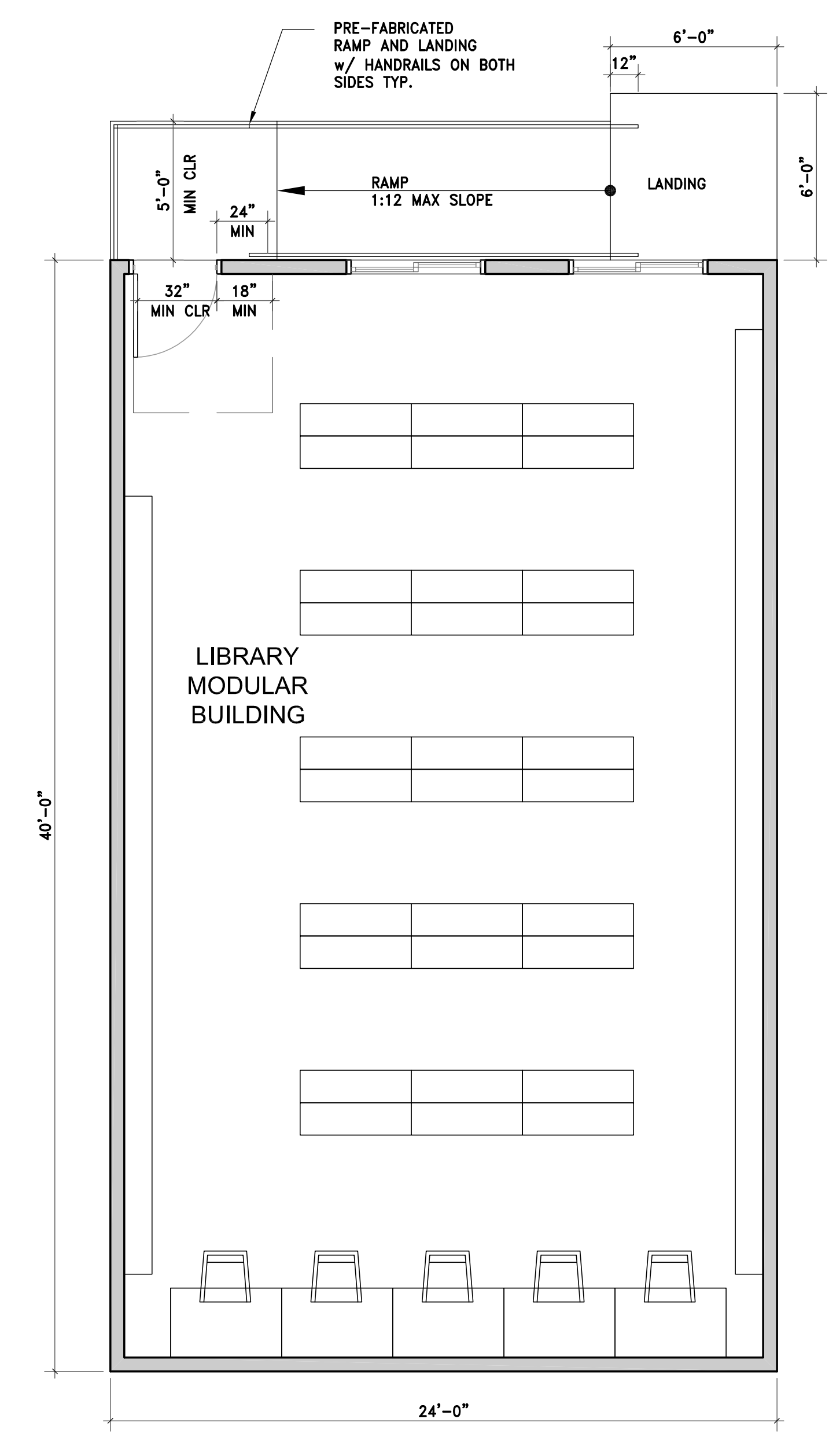
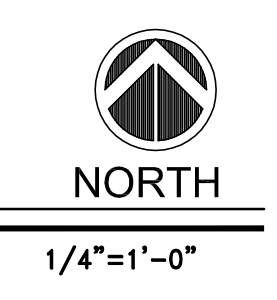
- GENERAL NOTES:**
1. THESE ARE PRE-FABRICATED MODULAR BUILDINGS
  2. ANY REFERENCE TO "CLEAR" MEANS DIMENSIONS ARE TO FACE OF FINISH.
  3. G.C. TO COORDINATE ALL ROUGH-IN WALL CONDUITS, PLUMBING, ELECTRICAL WITH PRE-FABRICATED MODULAR BUILDING POINT OF CONNECTIONS

Revisions

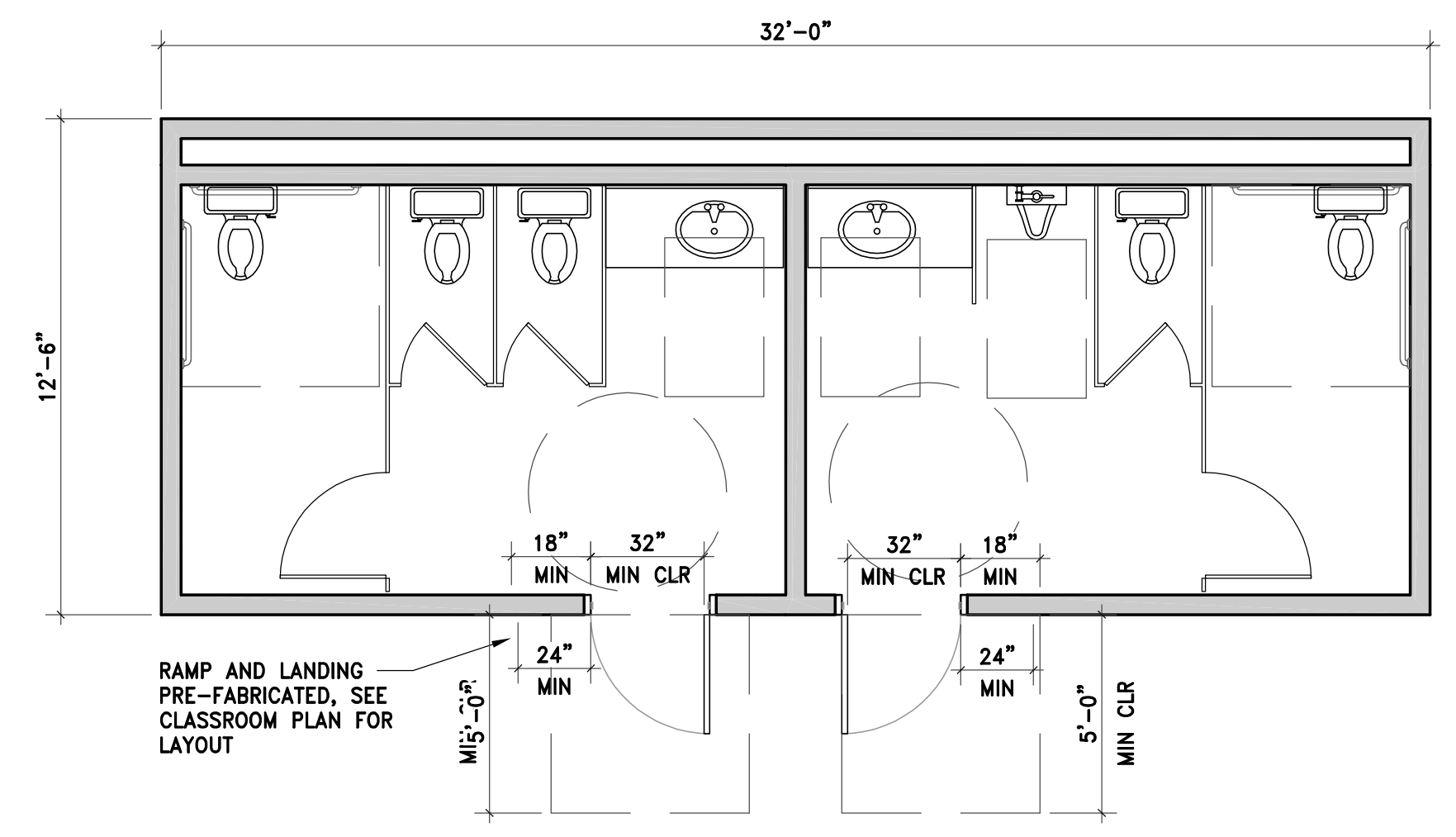
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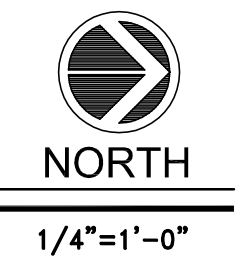
TYPICAL CLASSROOM & OFFICE



LIBRARY



RESTROOM



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EXHIBIT 5 PAGE 3

**The King's Corner Ministries (TKCM) (Non-Profit File# C4031754)  
SE corner of Belmont Ave. and Academy Ave., Sanger, CA**

**Feb. 07,2024**

**Applicant/Owner:**

The Kings Corner Ministry  
c/o Mr. Keith Gardner  
13189 East Belmont Ave.  
Sanger, CA

**Representative:**

Ms. Susan Jones  
SJA/Design Group  
P.O. Box 927  
Clovis, CA. 93613

**APN:**

314-150-28s consisting of 36.9 +/- acres  
Not subject to the Williamson Act

**Location:**

SE corner of Belmont Ave. and Academy Ave., Sanger, CA

**Previous Approvals**

DRA No. 4603 & SPR 8215

**Request**

This is a request to modify the previously approved DRA No. 4603 of a 31,264sf private school on a +/-36.9 acres parcel (APN 314-150-28S). The project is located at 13189 East Belmont Ave. The project was completed last year and has been fully operational. The original goal was to provide a private school for Children grade K through 6 and Middle school 7 through 8<sup>th</sup> grade. There was always the anticipation of growth and to provide education for grades 9<sup>th</sup> thru 12<sup>th</sup> grade.

**Project Purpose**

DRA No. 4603 approved the Private school with office admin, (2) multi-purpose rooms, (4) classrooms with a seating capacity of 24 students for a total of 96 students, Gym, Commercial Kitchen and other miscellaneous rooms for the school's use. Also included were several outdoor activity spaces. On the West side of Gym is a vacant open space where they would like to expand the school.

The applicant is now seeking a DRA modification by asking for the approval of (8) new 24'x40'Modular/Pre-Fabricated buildings with an square foot area of 960 each. The breakdown of room uses would be (5) Classrooms, (1) Office, (1) Library, (1) Storage. Also included is (1) 12'x32' Restroom totaling an increase in building area of +8,064sf. There will be (4) modular buildings in a row separated 2 feet apart facing North and then open

space in the middle of the buildings with another (5) rows of buildings again 2 feet apart facing South. At the West end of the row of buildings the small restroom will be located. All modular buildings are +/- 18 inches above grade level and will have access with prefabricated ramps. There will be a min +/- 21 feet between the last Modular building and the existing Gym keeping a clear side yard per building code requirements.

Its anticipated that this expansion will happen in phases as funding to purchase the modular units becomes available and as the number of students increases. It's the goal of the school to purchase the following modular buildings in the first phase which includes the (1) storage rooms, (1) library, (1) office & (1) classroom. It's the hope that within the next 2-3 years the remaining (4) classrooms and (1) restroom will be purchased and installed.

### **Private School Operations**

At present per the approved DRA 4603, the school provides education for children grades K through 6 and middle school 7 through 8. The facility is designed with (4) classrooms, each with a seating capacity of 24 students. Each existing classroom accommodates at most 2 different grade levels. The school has now been given the opportunity to expand their curriculum to include students in grade levels 9 through 12. The age range of students will be from 11 to 17 years old. With approval of the modification of the DRA and partnering with the local school district and becoming a Charter school vendor to the school district they will be able to provide education to the upper grade levels. As a Charter Vendor, this will allow TKCM School to provide upper-level educations to students whose parents want to home school their children but have the support of the Charter school by providing in person / onsite classes 2 days a week while the remaining 3 days in the week the students will be homeschooled. They anticipate slow growth with a maximum of 8-10 students per classroom and with attendance only a maximum of 2 days a week.

In the first phase, only one modular building will be used as a classroom increasing the overall student count by 10 for a total of 106. The other (3) modular buildings in the first phase will be used in various ways to meet the demand of the school by providing (1) Office space for the additional 1-2 new Teachers, (1) library, (1) storage buildings for the various miscellaneous equipment and supplies for the school. As the program grows, they will add the remaining (4) classrooms and (1) restroom in the next 2-5 years. When all proposed (5) classrooms are installed and anticipating a maximum of 10 students per classroom, this would bring a total of 50 additional students to the previously approved 96 students for a total of 146 students. (4) of the classrooms will be used for each grade level (9,10,11, &12) and the remaining classroom will be used for computer station/study room. Each classroom will have 10 students per grade level as mentioned, however, not all classrooms will be used simultaneously. Since this is a charter school program, students only come in person twice a week and do remote learning the remaining days of the week at home. This means, only (2) of the classrooms, on any given day, will be used by the students. For example, grades 9 and 10 will need to show up on Monday and Wednesday and 11 and 12

will show up Tuesday and Thursday. On any day, only two classrooms will be used, which requires only (2) teachers to be present.

The school hours of operations will remain the same which are from 7:30 a.m. to 6:00 p.m. Monday through Saturday. The upper grade level 9<sup>th</sup> through 12<sup>th</sup> will have classes only twice a week.

**Number of Visitors**

Besides the number of parents dropping off or picking up students, we do not anticipate an increase in visitors from the previously approved DRA 4603

**Employees**

The previously approved DRA 4603 noted a total of teachers to (3) Admin, (4) teachers and (3) maintenance staff. With the addition of the new modular classrooms, they anticipate an addition of (2) teachers bring the staff total to 12.

**Service and delivery vehicles:**

None

**Access to the site:**

Existing access to the site from East Belmont Ave. which is designated as Collector. The expansion is not anticipated to not adversely affect capacity Belmont or Academy Ave.

**Number of parking spaces**

Per the original DRA there are total of 10 accessible stalls and 189 standard stalls provided with a total of additional 54 future stalls shown. At present only 20% of the parking stalls are being used on a daily basis.

**Goods sold on site**

None

**What equipment is used.**

No new or additional equipment is to be used besides the typical landscaping and maintenance equipment for the outdoor landscape areas as noted in the previously approved DRA 4603

**What supplies or materials are to be used.**

Typical school supplies and office supplies which are no different then what was originally stated in the DRA 4603

**Does the use cause an unsightly appearance.**

The modular buildings will sit West of the existing Gym and will be adjacent to open green space and will not be unsightly, or cause glare or produce additional noise that will adversely affect the surrounding. All building lights will be hooded and directed so that

they do not transmit light on to adjacent properties. Site lighting is already in place and hooded to prevent glare or illumination to adjacent properties.

**List any sold or liquid waste to be produced.**

Per CalRecycle on the sate Website, it is estimated that 0.6 lbs of solid waste is generated per person per day. The added 50 students plus 2 teachers then total an average of 31.2 lbs per day. The solid waste is placed in a dumpster that is serviced weekly by a private hauler.

Estimated wastewater use per CPC 2022 Table H201.1.(4) for school staff and office use is 20 gallons per day. Per the same table in the California plumbing code, it's estimated that schools for intermediate and high schools is also 20 gallons a day. The total number of additional students is 50 and (2) additional teachers for a total of 1,040 gallons of wastewater per day. There is an existing septic tank of 5,000 gallons with an existing 100' ft. leach field and a 100% expansion of a 100' ft. leach field reserve which was installed with the building of the main school. Presently there is a 6" stub out/point of connection for future expansion located at the southeast corner of the open landscape area. The size of the septic system was designed with the expansion in mind.

**Water usage**

It is estimated that the site will consume approximately 20 gallons of water per day for domestic purposes per student and staff. With the addition of 50 students and 2 staff members that totals an estimated 1,040 gallons of water per day.

Water is supplied by an existing well serving the Blossom Trail Café. That well has an excellent record of performance, being capable of producing 250 gallons of water per minute at a depth of 180 ft. Said water system will operate under a permit to operate granted by the State of California Water Boards.

**Advertising / signage**

No new signage will be added to the school

**Will existing buildings be used or will new buildings be constructed**

New pre-fabricated/modular buildings will be used for the classrooms, office, library, storage and restroom

**Project Owners**

The Kings Corner Ministry  
c/o Mr. Keith Gardner  
13189 East Belmont Ave.  
Sanger, CA



# TKCM MODULAR CLASSROOMS

13189 EAST BELMONT AVE, SANGER, CA.



## SITE PHOTO MAP





**Site Photo View A - Facing North toward E. Belmont Ave**



**Site Photo View B - Facing East toward Existing Gym**



**Site Photo View C - Facing South**



**Site Photo View D - Facing West towards parking and Academy ave beyond**